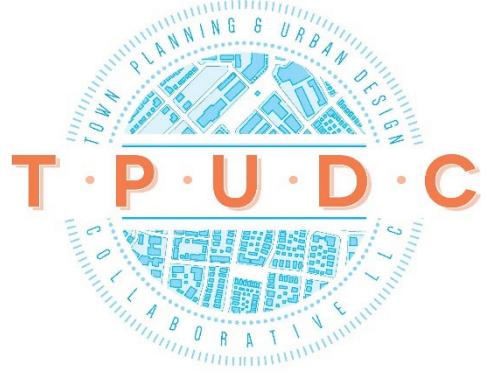


PLANAPALOOZA WORK- IN-PROGRESS PRESENTATION

SEPTEMBER 21, 2023



INTRODUCTIONS



CODING / PLANNING / URBAN DESIGN /
PUBLIC OUTREACH / GRAPHIC DESIGN



BRIAN WRIGHT
PRINCIPAL



BILL WRIGHT
DIRECTOR OF ZONING



JESSICA WILSON
DIRECTOR OF PLANNING



ANNA UNDERWOOD
PROJECT MANAGER



BAILEY DYBAS
PLANNER



GORICA ZIVAK
GRAPHIC DESIGNER

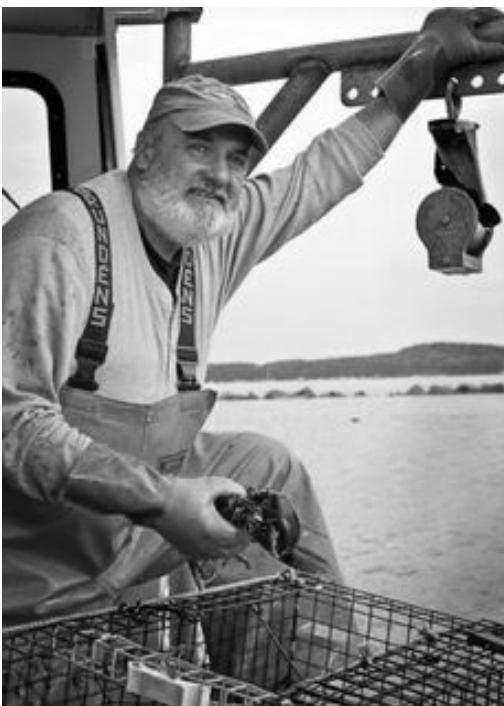


JJ ZANETTA
ILLUSTRATIONS

OUR TEAM

National Experience & LOCAL EXPERTISE

- CITIZENS ARE THE EXPERTS
- IMPARTIAL THIRD PARTY
- NO PRECONCEIVED NOTIONS



PARTNERING WITH THE COMMUNITY



Recognizing Connections



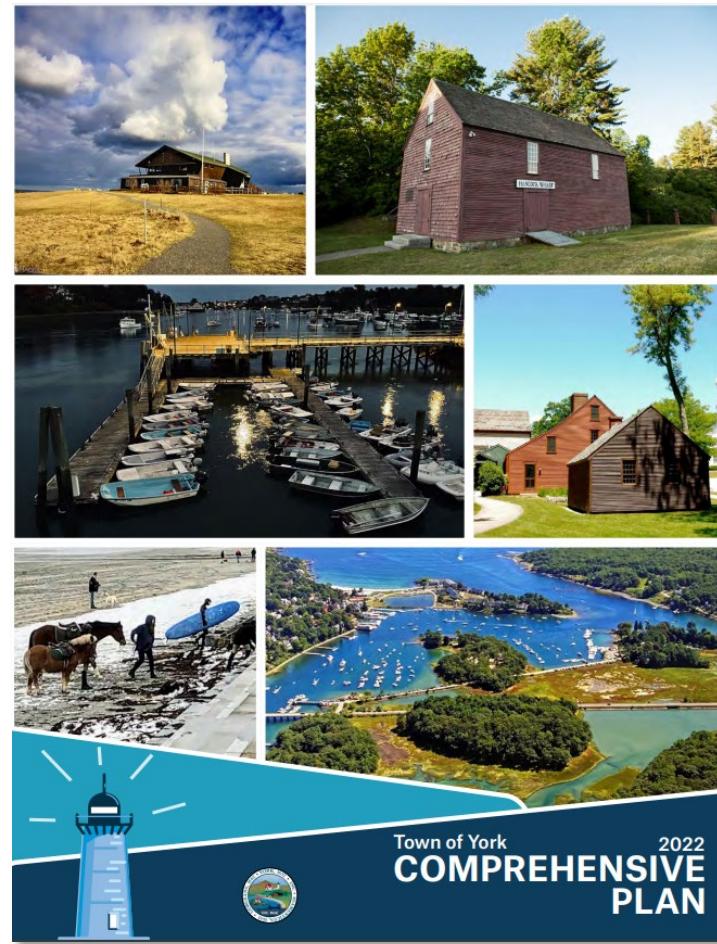
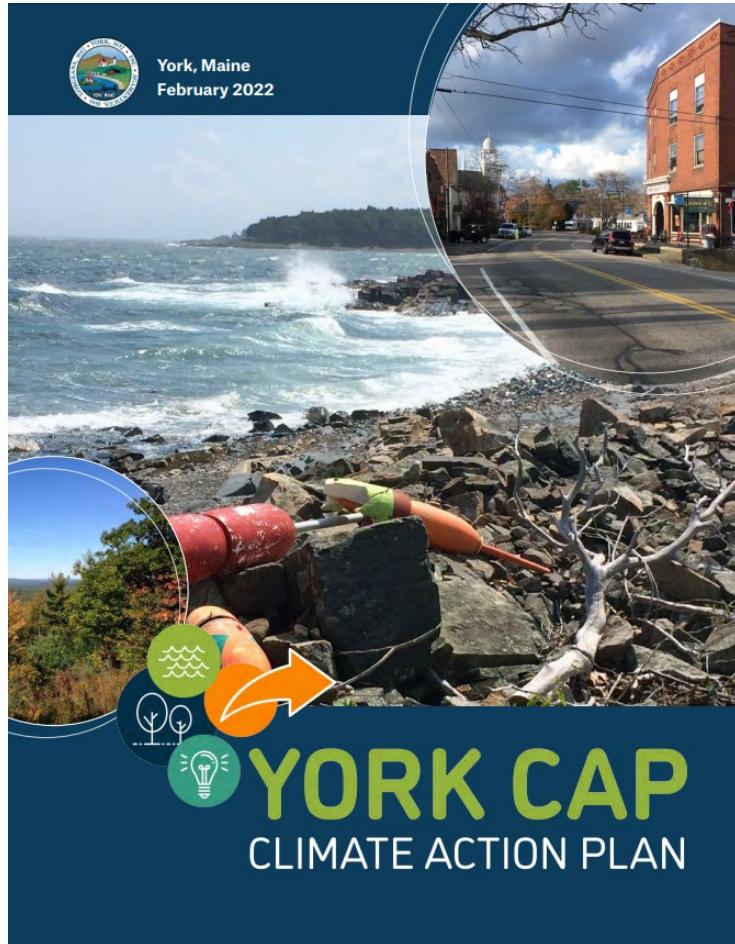
INNOVATIVE SOLUTIONS

HOLISTIC PLANNING & ZONING MODEL

BUILDING ON A FIRM FOUNDATION



BUILDING ON PAST WORK



Zoning Ordinance



Town of York, Maine

Date of Most Recent Amendment: November 8, 2022

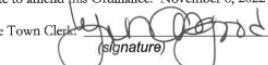
Prior Dates of Amendments

2022: May 21
2021: November 2, May 22
2020: November 3, July 14
2019: November 5
2018: November 6, May 19
2017: November 7, May 20
2016: November 8, May 30, May 21
2015: November 3, May 17
2014: November 4, May 17
2013: November 5, May 18
2012: November 6, May 19
2011: November 8, May 21
2010: November 2, May 22
2009: November 6, May 20
2008: November 4, May 17
2007: November 6, May 19
2006: November 7, May 20
2005: November 8
2004: November 2, May 22
2003: November 4, May 17
2002: November 5, May 18
2001: November 6
2000: November 7, May 20
1999: n.a.
1998: November 3
1997: November 4
1996: November 6
1995: November 7
1994: November 8
1993: December 29, November 2, April 10
1992: June 5, May 9

Date of Original Enactment: March 18, 1992

ENACTMENT BY THE LEGISLATIVE BODY

Date of the vote to amend this Ordinance: November 8, 2022

Certified by the Town Clerk:  on 11/14/2022
(signature) (date)

BUILDING ON PAST WORK

2022 COMPREHENSIVE PLAN

GEROD goals:

- Green businesses
- Recreation opportunities
- Mix of uses
- Incorporates Short Sands Beach & York Beach Village
- Form-based zoning

The Green Enterprise Recreational Overlay District

TERM TO KNOW

The Green Enterprise Recreational Overlay District (Zone GEZ) is an area of 250 acres that was targeted for potential development of “green” business and recreation opportunities for townspeople. Short Sands Road now traverses the district, including Town-owned land, and provides opportunities to revisit the goals of the district to refine the vision for this area and re-create an overlay district that accomplishes community goals.

8.7 Consider a strategic planning process to review, update and modify the Green Enterprise Recreational Overlay District. Determine an overall concept for the area and the desired uses and locations relative to what is allowed through the underlying base zones, and incorporate the Short Sands Beach and York Beach Village areas. Through the strategic planning process, examine which types of zoning options and policies could best encourage the types of uses desired, including recreation and **form-based zoning** or Planned Unit Development. Consider renaming the overlay district based on results of community charettes to reflect the desired mix of uses. (Goals 1, 2, 7, 9, 10, 13, 4, 15, 16, 17, 18)

***RENAMED TO THE YORK BEACH GREENWAY DISTRICT IN AUGUST 2023**

WHAT THE COMP PLAN SAYS ABOUT THE GREENWAY DISTRICT

2013 COMPREHENSIVE PLAN

Green Enterprise
Recreation Overlay
District (GEROD) was
established with 4 sub-
districts:

- York Beach Mixed Use
- Route 1 Mixed Use
- Recreation
- Protected Natural
Resource

Between 250-300 acres



WHAT THE COMP PLAN SAYS ABOUT THE GREENWAY DISTRICT

PUBLIC INPUT

YORK BEACH
GREENWAY DISTRICT

PLANAPALOOZA
Kick-off

THURSDAY
AUGUST 17TH
6:00 - 7:30 PM

This event will be held
in the York Library

Join the Town of York and planning consultant,
Town Planning & Urban Design Collaborative LLC,
(TPUDC) to find out more about the Short Sands
zoning redesign.

Learn about the goals of the project, provide your
ideas, and help us build excitement for the project.

Visit the project website at
www.yorkmaine.org/648/York-Beach-Greenway-District

For more information, please email DeCarlo Brown, Town Planner ybgreenwaydistrict@yorkmaine.org



PUBLIC KICK-OFF EVENT: LAST MONTH

York Beach Greenway

PLANAPALOOZA

YORK BEACH

GREENWAY DISTRICT

MONDAY SEPT. 18TH - THURSDAY SEPT. 21ST



What's a Planapalooza™?
 \plan•uh•puh•loo•zuh\ n.
 A Planapalooza™ is an intense, participatory design, and public input process where you are invited to work directly with your neighbors, fellow business owners and a multidisciplinary consulting team. The entire process is open to the public.

Join the Town of York and planning consultant, Town Planning & Urban Design Collaborative LLC, (TPUDC) to find out more about the Short Sands zoning redesign.

This event will be held at the York Beach Fire Department

18 Railroad Ave.
 York Beach, ME 03910

Visit the project website at www.yorkmaine.org/648/York-Beach-Greenway-District

For more information, please email DeCarlo Brown, Town Planner ybgreenwaydistrict@yorkmaine.org

- Ads in two newspapers
- Postcards to all registered voters
- Direct mailings to all within 500 ft of the Short Sands Road adjacent properties
- Postings on town buildings
- Local school outreach
- Flyers to at least 50 different businesses
- Direct outreach to town public boards
- Website created
- Email blast to all subscribed to the website
- Email blast to all on the town email list
- Advertising on public television
- Weekly public meetings inviting the public to come and share their ideas
- Creation of email address for questions
- Outreach to:
 - Town housing organizations
 - HOAs
 - Chamber of Commerce
 - Land trust
 - Non-profits
 - Faith organizations

GETTING THE WORD OUT!



OPENING PRESENTATION



HANDS-ON MAPPING WORKSHOP



TOPICAL MEETINGS

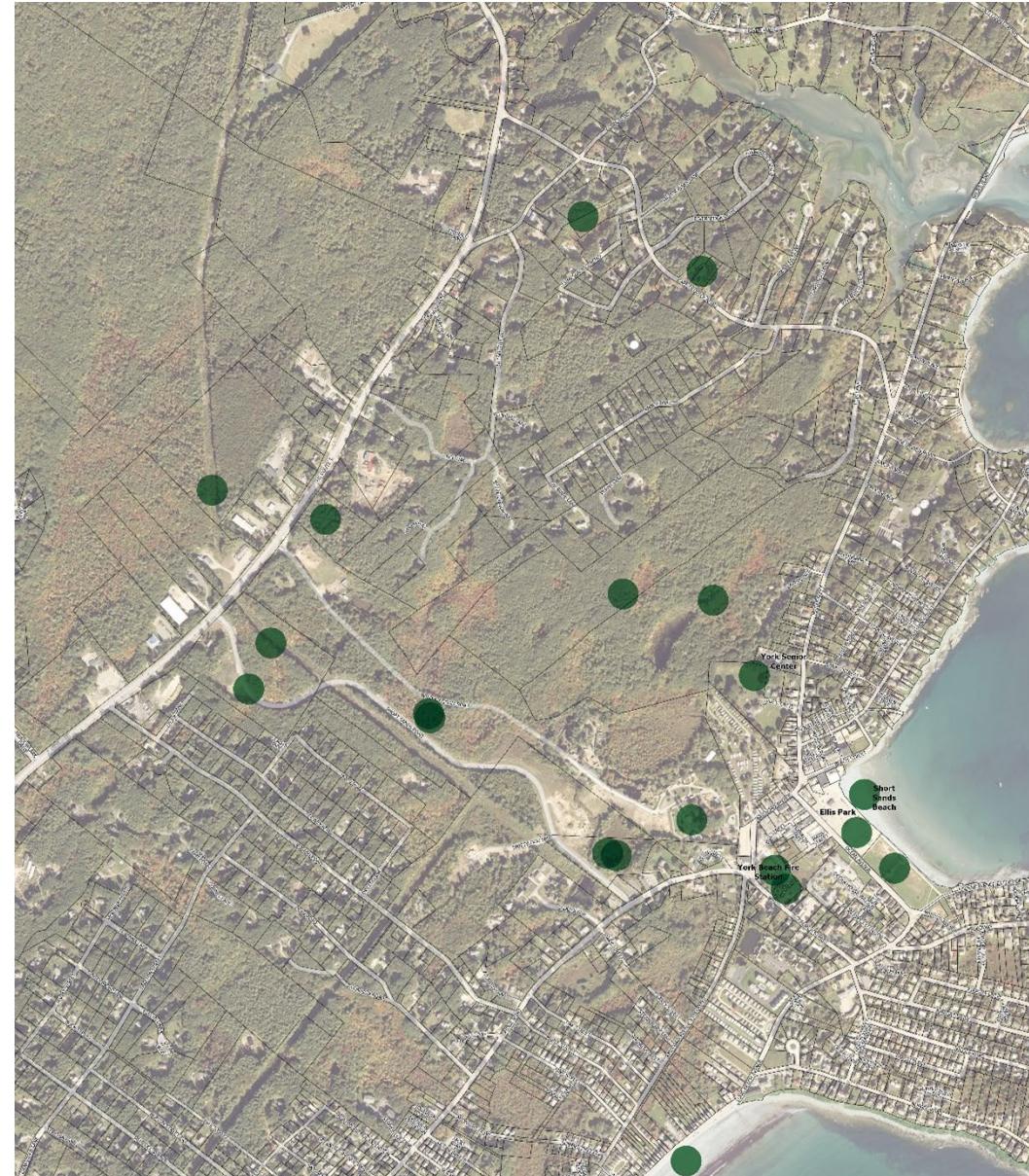


OPEN STUDIO

- WORKFORCE/AFFORDABLE & MIXED-INCOME HOUSING
- ADDITIONAL PARKING FOR BEACH VISITORS
- CONSERVE, PRESERVE, AND/OR RESERVE WHERE POSSIBLE
- MULTIMODAL TRANSPORTATION
- PREPARE FOR SEA LEVEL RISE
- INCREASED SUPPORT FOR LOCAL BUSINESSES



SOME OF WHAT WE'VE HEARD SO FAR



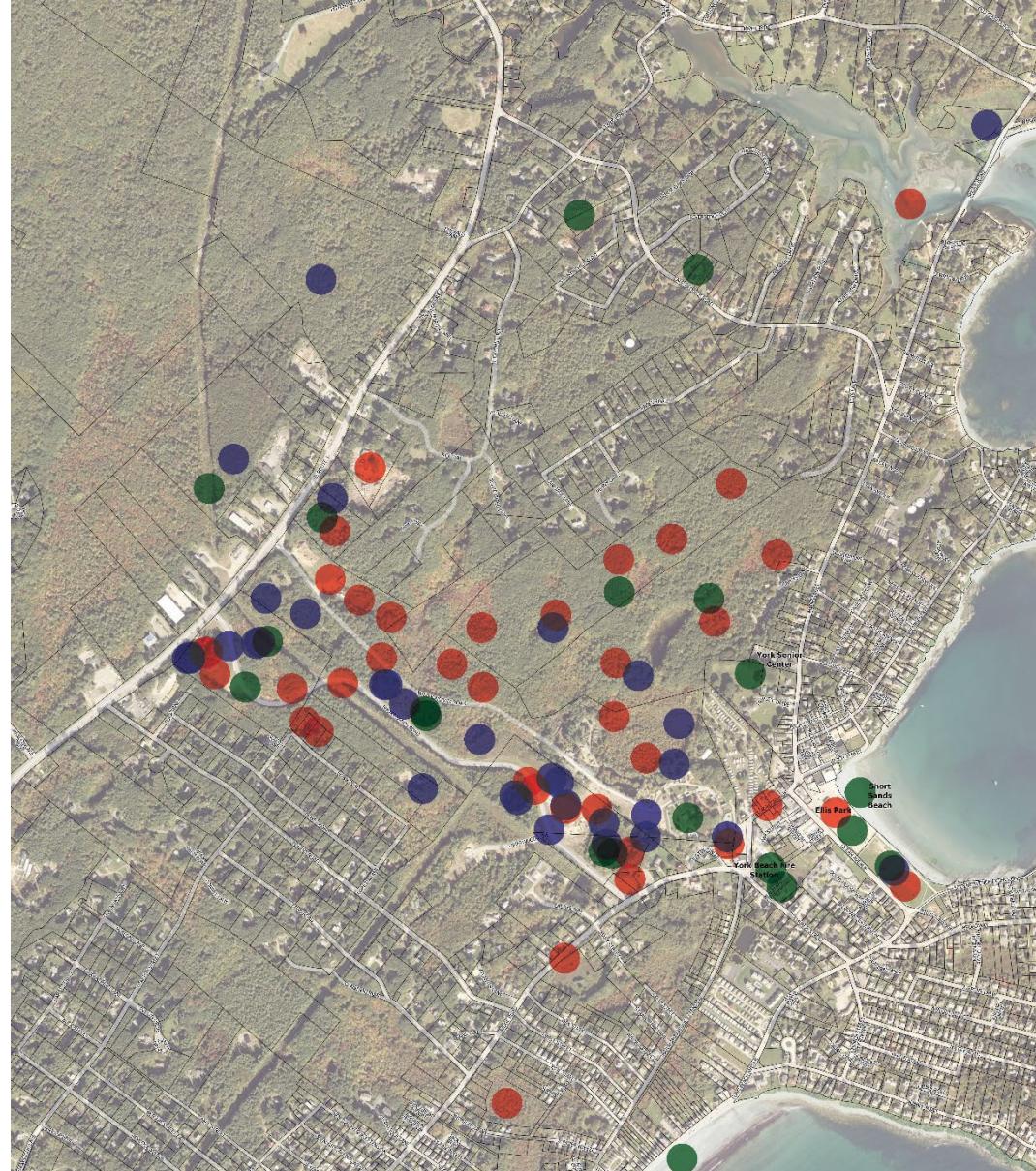
MAPPING WORKSHOP: POSITIVES



MAPPING WORKSHOP: NEGATIVES



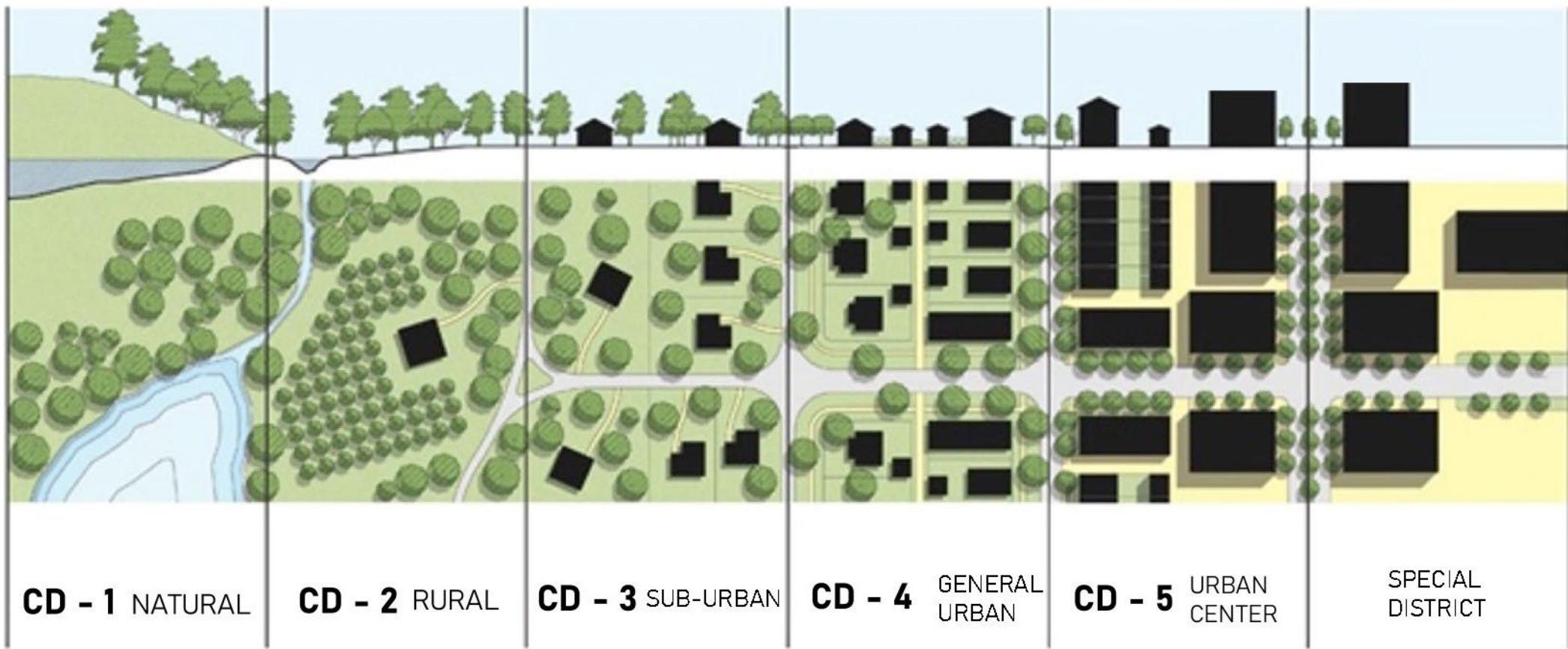
MAPPING WORKSHOP: OPPORTUNITIES



MAPPING WORKSHOP

CODING FOR CHARACTER

RURAL  TRANSECT  URBAN



CODING FOR CHARACTER: CHARACTER DISTRICTS



CODING FOR CHARACTER: CHARACTER DISTRICTS



CODING FOR CHARACTER: CHARACTER DISTRICTS



CODING FOR CHARACTER: CHARACTER DISTRICTS



CODING FOR CHARACTER: CHARACTER DISTRICTS



CODING FOR CHARACTER: CHARACTER DISTRICTS



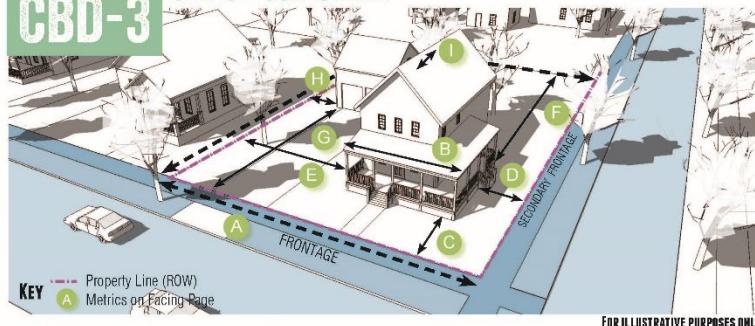
CODING FOR CHARACTER: CHARACTER DISTRICTS



CODING FOR CHARACTER: CHARACTER DISTRICTS

TABLE 5.2.8.5D CHARACTER BASED DISTRICT STANDARDS -

CBD-3 - SUB-URBAN



(a) General Description

The CBD-3 Sub-Urban Character Based District consists of low density walkable residential areas. Adjacent to higher zones that have some Mixed Use. Home occupations and outbuildings are allowed. Planning is naturalistic and Setbacks are relatively deep. Blocks may be large and Thoroughfares irregular to accommodate natural conditions, but designed for slow movement.

General Character: Lawns, and landscaped yards surrounding detached single-family houses; occasional pedestrian Use.

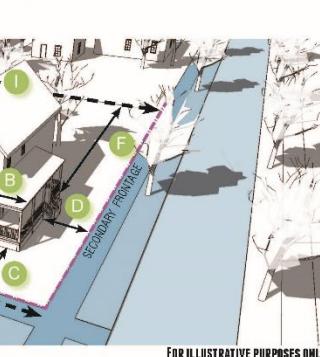
Building Placement: Medium to deep front Setbacks; narrow to medium side Setbacks

Frontage Types: Common yards, porches, fences, naturalistic Tree planting

Typical Building Height: 1- to 2-Story

Type of Civic Space: Parks, Greens, Playgrounds

TABLE 5.2.8.5D CBD-3 - SUB-URBAN



(b) Maximum Character Based District Density

By Right 10 Density Units/Net Site Area
Acres, max

(c) Block Size

Block Perimeter 2,400 ft. max
Block size further regulated under Chapter 3 (Subdivision)

LEGEND

P	Permitted	NA	Not Applicable
NP	Not Permitted	R	Required
C	Permitted Conditional Use		

(d) Private Frontages

PRIVATE FRONTAGE TYPE/

Common Yard	P
Porch	P
Terrace/Lightwell	NP
Forecourt	NP
Stoop	NP
Shopfront & Awning	NP
Gallery	NP
Arcade	NP
Dooryard	NP
Doorway	P
Officefront	NP

ENTRANCES/ACTIVE FUNCTIONS

Main Entrance in Front Building Facade

(e) Thoroughfare Types

Highway	P
Boulevard	P
Avenue	P
Commercial Street	NP
Drive	P
Street	P
Road	P
Rear Lane	P
Rear Alley	NP
Path	P
Passage	NP
Bicycle Trail	P
Bicycle Lane	P
Bicycle Route	P

See Tables 5.2.8.6A-5.2.8.6 (Thoroughfare Assemblies & Standards) for specific standards.

Front Setback, Principal Frontage: 24 ft. min C

Front Setback, Secondary Frontage 12 ft. min D

Side Setback 12 ft. min E

Rear Setback 12 ft. min* F

*or 15 ft from center line of rear lane or Alley

Lots must comply with applicable Chapter 3 (Subdivision) standards

Front Setback: 20 ft. min + Principal bldg. Setback G

Side Setback 6 ft. H

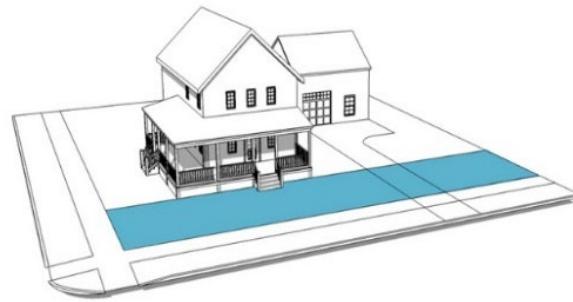
Rear Setback 3 ft. min I

Lots must comply with applicable Chapter 3 (Subdivision) standards

Common Yard

Permitted Districts:

CD4—L



A planted Frontage wherein the Facade is set back substantially from the Frontage Line. The front yard created remains unfenced and is visually continuous with adjacent yards, supporting a common landscape. The deep Setback provides a buffer from the higher speed Thoroughfares.

Porch

Permitted Districts:

CD4—L

CD4



A planted Frontage wherein the Facade is set back from the Frontage Line with an attached porch or stoop permitted to Encroach. This may be used with or without a fence to maintain street spatial definition. Porches shall be no less than 8 feet deep.

Shopfront

Permitted Districts:

CD4—L*

CD4

CD5



A Frontage wherein the Facade is aligned close to the Frontage Line with the building entrance at Sidewalk grade. This type is conventional for Retail use. It has a substantial glazing on the Sidewalk level and may have an awning that may overlap the Sidewalk to within 2 feet of the Curb. Syn: Retail Frontage.

* Only as shown on Illustration 10.6A20.1.C
Special Requirements:
Required Shopfront & Stoop Private Frontages

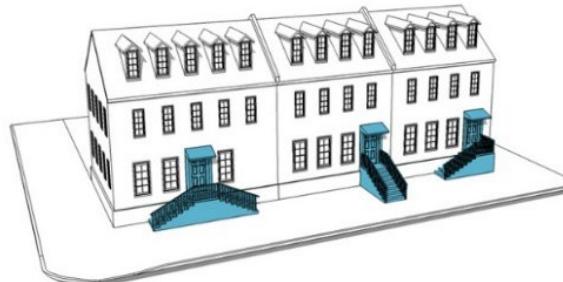
Stoop

Permitted Districts:

CD4—L

CD4

CD5



A Frontage wherein the Facade is aligned close to the Frontage Line with the first Story elevated from the Sidewalk sufficiently to secure privacy for the windows. The entrance is usually an exterior stair and landing. This type is recommended for ground-floor Residential use. This frontage type is only allowed outside the Downtown Overlay District.

CODING FOR CHARACTER: FRONTAGE TYPE STANDARDS

Common Yard

Permitted Districts:

CD4—L



A planted Frontage wherein the Facade is set back substantially from the Frontage Line. The front yard created remains unfenced and is visually continuous with adjacent yards, supporting a common landscape. The deep Setback provides a buffer from the higher speed Thoroughfares.

Porch

Permitted Districts:

CD4—L

CD4



A planted Frontage wherein the Facade is set back from the Frontage Line with an attached porch or stoop permitted to Encroach. This may be used with or without a fence to maintain street spatial definition. Porches shall be no less than 8 feet deep.

Shopfront

Permitted Districts:

CD4—L*

CD4

CD5



A Frontage wherein the Facade is aligned close to the Frontage Line with the building entrance at Sidewalk grade. This type is conventional for Retail use. It has a substantial glazing on the Sidewalk level and may have an awning that may overlap the Sidewalk to within 2 feet of the Curb. Syn: Retail Frontage.

* Only as shown on Illustration 10.6A20.1.2C
Special Requirements:
Required Shopfront & Stoop Private Frontages

Stoop

Permitted Districts:

CD4—L

CD4

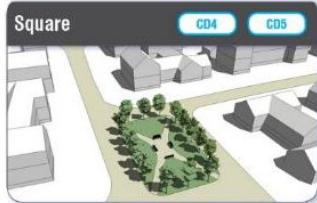
CD5



A Frontage wherein the Facade is aligned close to the Frontage Line with the first Story elevated from the Sidewalk sufficiently to secure privacy for the windows. The entrance is usually an exterior stair and landing. This type is recommended for ground-floor Residential use. This frontage type is only allowed outside the Downtown Overlay District.

CODING FOR CHARACTER: FRONTAGE TYPE STANDARDS

TABLE 10.6A40.5.2 CIVIC SPACES (CONTINUED)



A Civic Space available for unstructured recreation and Civic purposes. A Square is spatially defined by building Frontages. Its landscape shall consist of paths, lawns and trees, formally disposed. Squares shall be located at the intersection of important Thoroughfares. The minimum size shall be 1/8 acre and the maximum shall be 2 acres.



A Civic Space available for Civic purposes and Commercial activities. A Plaza shall be spatially defined by building Frontages. Its landscape shall consist primarily of pavement. Trees are optional. Plazas should be located at the intersection of important streets. The minimum size shall be 1/8 acre and the maximum shall be 1 acres.



A Civic Space available for informal activities in close proximity to neighborhood residences. A Pocket Park is spatially defined by building Frontages. Its landscape shall consist of paths, lawns and trees, formally disposed. Pocket Parks shall be in public places or in more intimate mid-block locations. There is no minimum/maximum size.



A Civic Space designed and equipped for the recreation of children. A playground should be fenced and may include an open shelter. Playgrounds shall be interspersed within Residential areas and may be placed within a Block. Playgrounds may be included within parks and greens. There shall be no minimum or maximum size.



CODING FOR CHARACTER: CIVIC SPACE TYPE STANDARDS

House Permitted Districts: CD4—L CD4



House: Building having an Edgeyard yard type, initially intended as a single-family dwelling on a medium to large Lot, often shared with an Accessory Building in the back yard. This building type is only allowed outside the Downtown Overlay District.

Duplex Permitted Districts: CD4



Duplex: a Building having an Edgeyard yard type, initially intended as a single-family dwelling, usually on a small Lot that may be shared with an Accessory Building in the back yard. This building type is only allowed outside the Downtown Overlay District.

Live / Work Permitted Districts: CD4 CD5



Live-Work: a Mixed Use unit designed to accommodate a ground floor commercial use and a Residential use above. The commercial Function may be anywhere in the unit. (Syn.: flexhouse.)

Rowhouse Permitted Districts: CD4 CD5



Rowhouse: a Building Type having a Rearyard Yard Type, initially intended for single-family dwelling, that shares a party wall with another of the same type and occupies the full Frontage Line. See Rearyard Building. (Syn: Townhouse). This building type is only allowed outside the Downtown Overlay District.

Apartment Permitted Districts: CD4—L



Apartment: a Building with an Edgeyard yard type, initially intended for a Residential Principal Use, including multiple attached single-family Dwelling Units. This building type is only allowed outside the Downtown Overlay District. This building type may be designed from the exterior to complement detached single-family houses in certain Character Districts while containing actually several flats on the interior; may be for rent, or for sale as a condominium.

CODING FOR CHARACTER: BUILDING TYPE STANDARDS

USES

ARTICLE 4: BUILDING AND LOT PLANS & STANDARDS

TABLE 345.405.L-1 BUILDING AND LOT PRINCIPAL USE

PRINCIPAL USE	CD-3 R20	CD-3 R7	CD-3 R5	CD-4	CD-5	CD-5 W	CD-6	SD- PMU	SD- PRD	CZ
Animal (Small) Boarding or Grooming or Kennel without Outside Boarding	NP	NP	NP	NP	SE	SE	SE	SE	NP	NP
Appliance Retail Sales and/or Service	NP	NP	NP	NP	P	P	P	P	NP	NP
Artisan Establishment, with or without Retail Sales	NP	NP	NP	NP	P	P	P	P	NP	NP
Art or Photography Studio	NP	NP	NP	NP	P	P	P	P	NP	NP
Bakery - Retail	NP	NP	NP	NP	P	P	P	P	NP	NP
Brewpub	NP	NP	NP	NP	SE	SE	SE	SE	NP	NP
Boat Retail Parts Sales	NP	NP	NP	NP	P	P	P	P	NP	NP
Drive-Through Establishment	NP	NP	NP	NP	SE	SE	SE	SE	NP	NP
Dry Cleaning / Laundry Pick Up Shop	NP	NP	NP	NP	P	P	P	P	NP	NP
Entertainment Facility (non-Civic)	NP	NP	NP	NP	P	P	P	P	NP	NP
Financial Services	NP	NP	NP	NP	P	P	P	P	NP	NP
Hair / Skin / Nail Care	NP	NP	NP	NP	P	P	P	P	NP	NP
Health Club or Day Spa	NP	NP	NP	NP	P	P	P	P	NP	NP
Laundromat	NP	NP	NP	NP	P	P	P	P	NP	NP
Massage Studio	NP	NP	NP	NP	P	P	P	P	NP	NP
Motor Vehicle Retail Parts Sales	NP	NP	NP	NP	P	P	P	P	NP	NP
Non - Boat Goods Maintenance / Cleaning / Repair / Service	NP	NP	NP	NP	P	P	P	P	NP	NP
Non-Boat Goods Retail Sale	NP	NP	NP	NP	P	P	P	P	NP	NP
Non-Motor Vehicle Maintenance / Cleaning / Repair / Service	NP	NP	NP	NP	P	P	P	P	NP	NP

LEGEND

The following notations are utilized in this table.

P Permitted

SE Special Exception

NP Not Permitted

ARTICLE 4: BUILDING AND LOT PLANS & STANDARDS

TABLE 345.405.L-1 BUILDING AND LOT PRINCIPAL USE

PRINCIPAL USE	CD-3 R20	CD-3 R7	CD-3 R5	CD-4	CD-5	CD-5 W	CD-6	SD- PMU	SD- PRD	CZ
Non-Motor Vehicle Goods Retail Sale	NP	NP	NP	P	P	P	P	NP	NP	NP
Open Air Market	NP	NP	NP	P	P	P	P	NP	NP	NP
Parcel Services	NP	NP	NP	P	P	P	P	NP	NP	NP
Pawnshop	NP	NP	NP	SE	SE	SE	SE	NP	NP	NP
Performing Arts Studio	NP	NP	NP	P	P	P	P	NP	NP	NP
Personal Improvement Services	NP	NP	NP	P	P	P	P	NP	NP	NP
Pharmacy	NP	NP	NP	P	P	P	P	NP	NP	NP
Photo-Finishing Retail Shop	NP	NP	NP	P	P	P	P	NP	NP	NP
Printing Services Retail Shop	NP	NP	NP	P	P	P	P	NP	NP	NP
Recreation Facility (non-Civic)	NP	NP	NP	P	P	P	P	NP	NP	NP
Restaurant	NP	NP	NP	P	P	P	P	NP	NP	NP
Retail Food Sales, with or without on-premises preparation or processing	NP	NP	NP	P	P	P	P	NP	NP	NP
Retail Membership Club	NP	NP	NP	P	P	P	P	NP	NP	NP
Short-Term Lender	NP	NP	NP	SE	SE	SE	SE	NP	NP	NP
Tailor or Seamstress Shop	NP	NP	NP	P	P	P	P	NP	NP	NP
Tasting Room	NP	NP	NP	SE	SE	SE	SE	NP	NP	NP
Tattoo Studio	NP	NP	NP	P	P	P	P	NP	NP	NP
Theater or Performing Arts Venue (non-Civic)	NP	NP	NP	P	P	P	P	NP	NP	NP
Veterinary Office, Clinic, or Hospital, without Outside Boarding	NP	NP	NP	P	P	P	P	NP	NP	NP
Warehouse Retail	NP	NP	NP	SE	SE	SE	SE	NP	NP	NP

LEGEND

The following notations are utilized in this table.

P Permitted

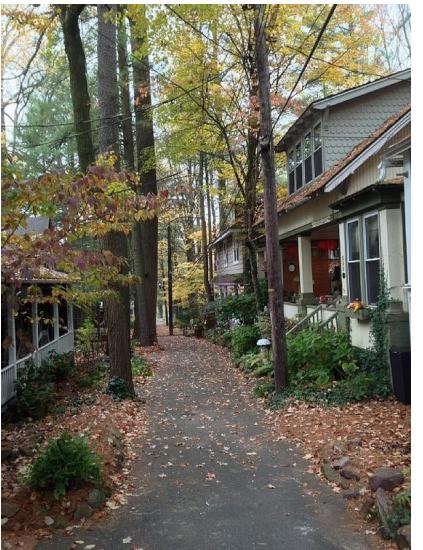
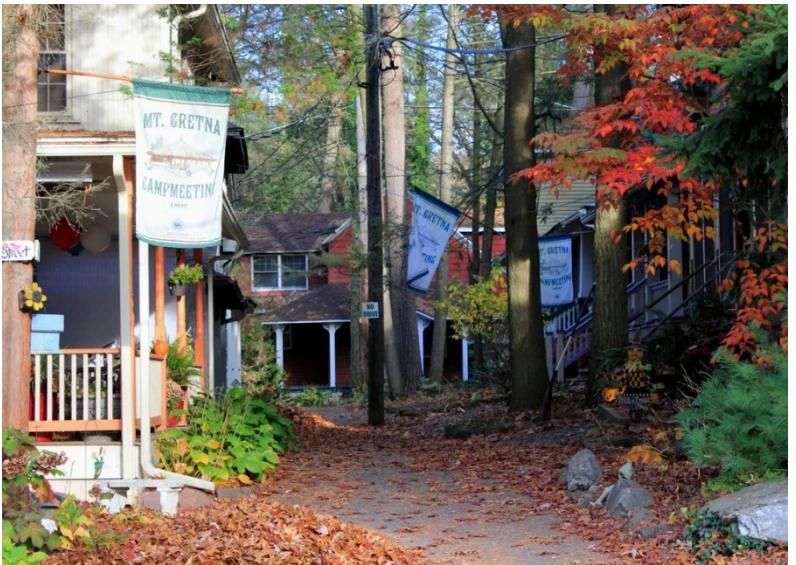
SE Special Exception

NP Not Permitted

BIG IDEAS



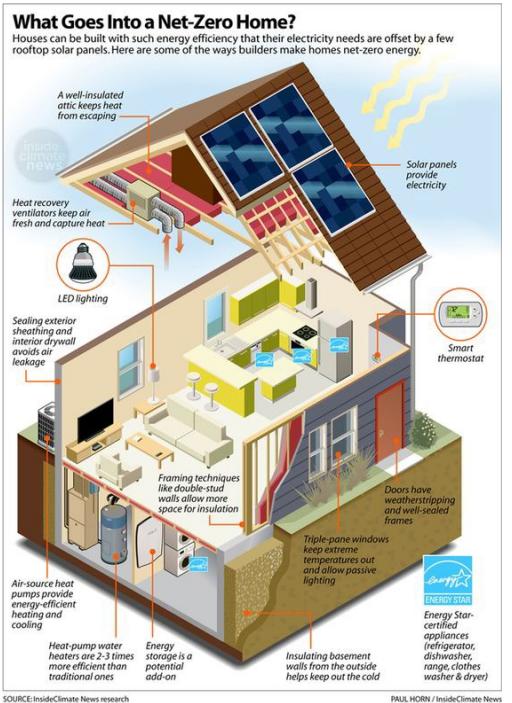
MULTIMODAL TRANSPORTATION



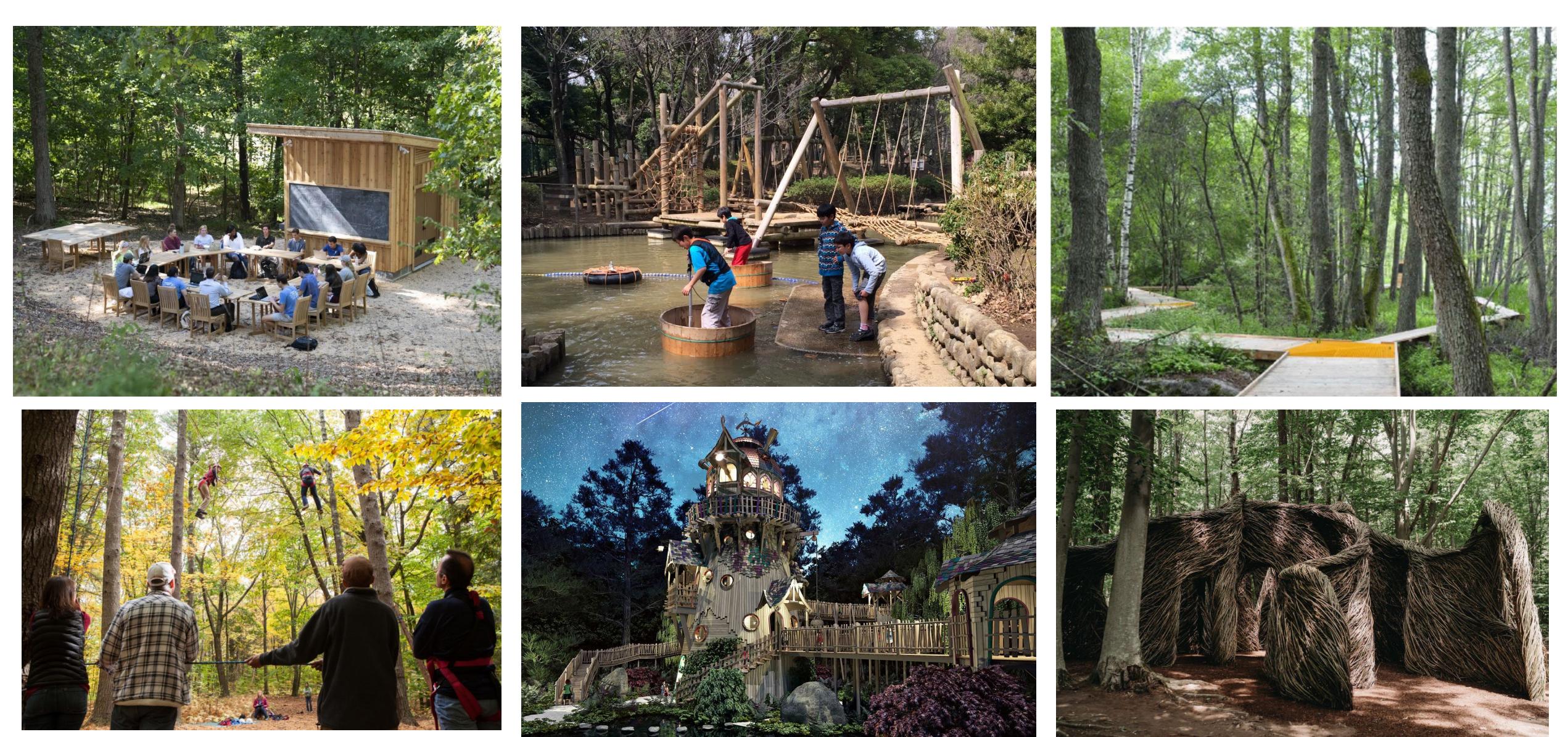
MIXED-USE VILLAGE



MIXED-INCOME HOUSING



SUSTAINABLE LIVING

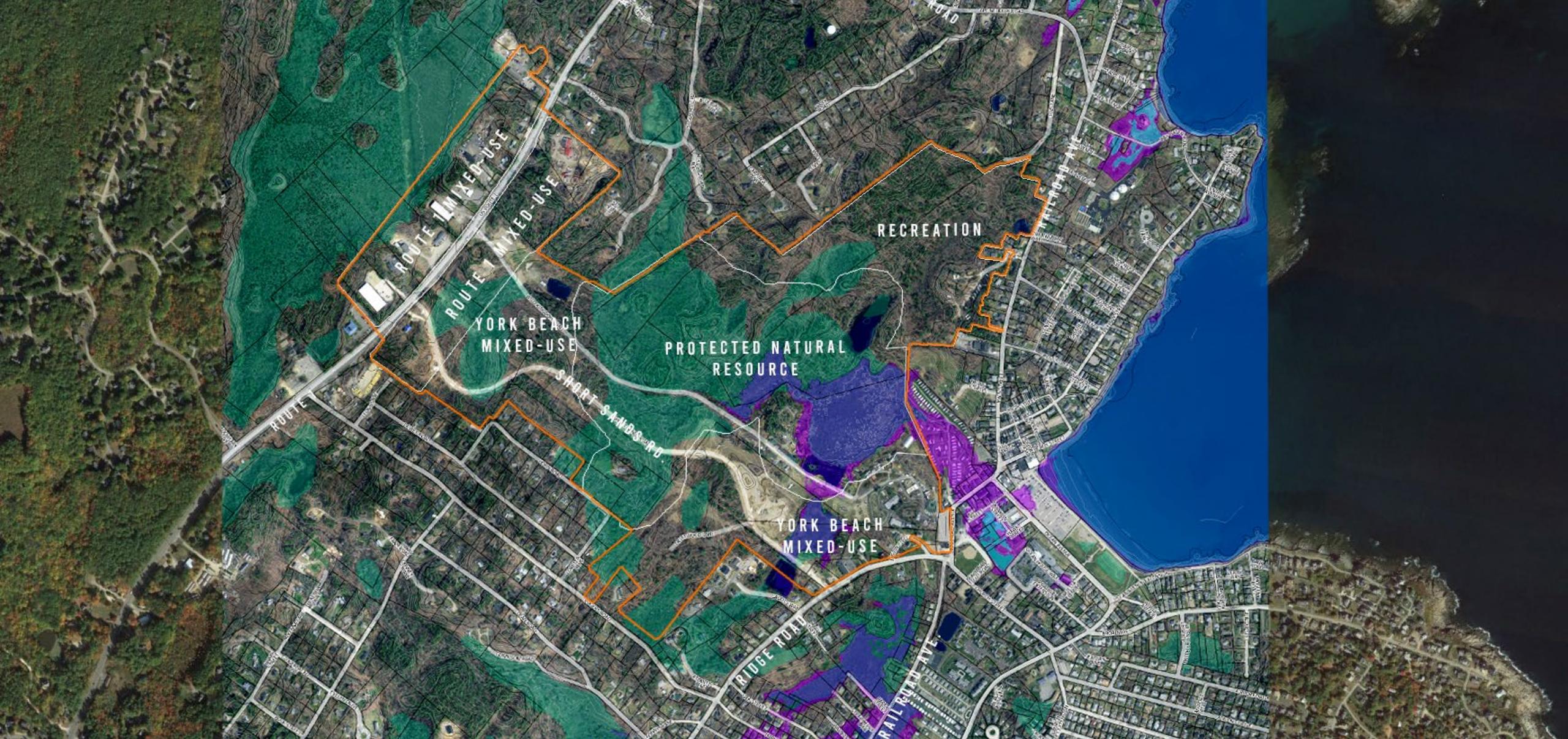


ENJOYING NATURE

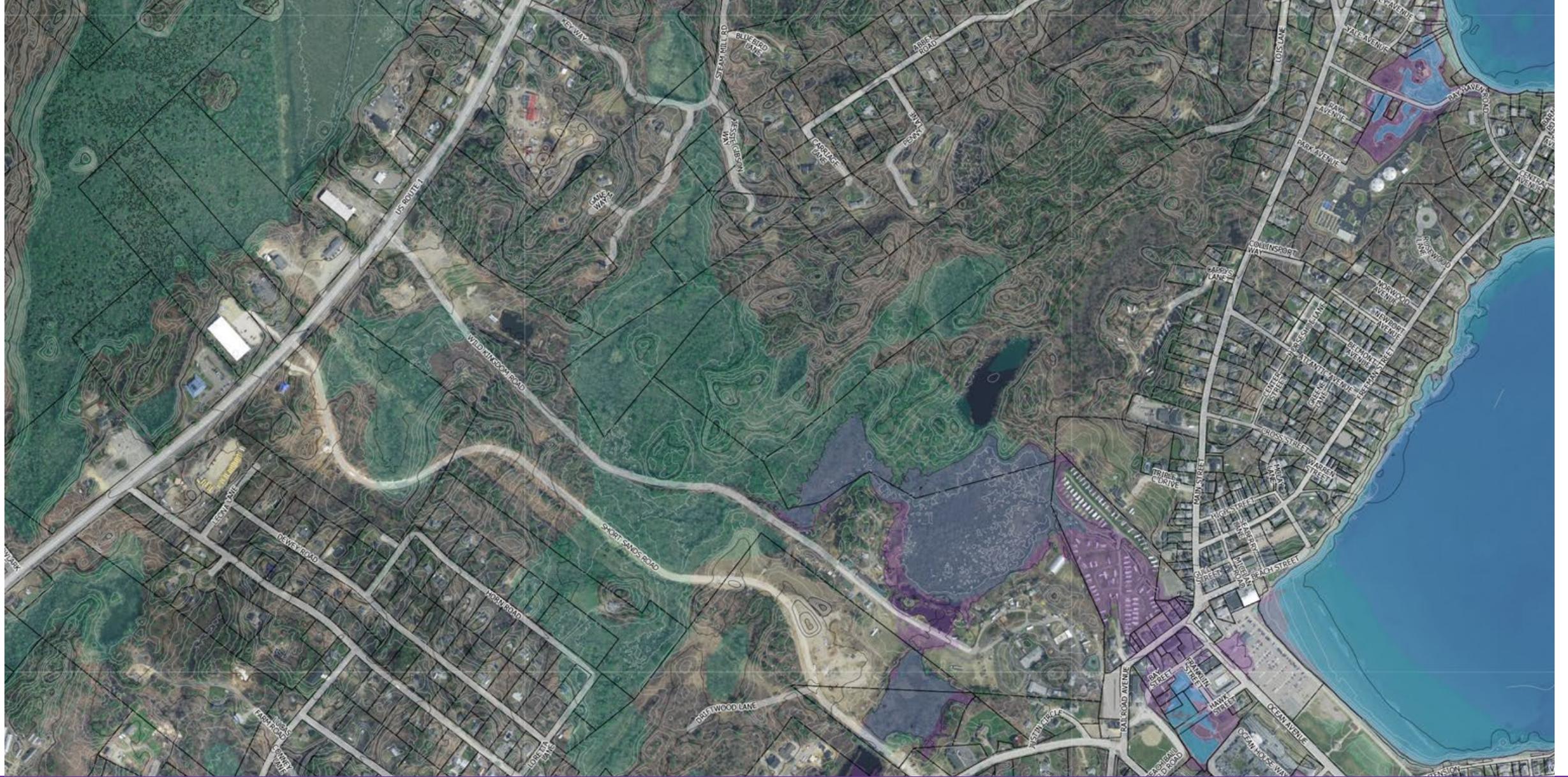


COMMUNITY AMENITIES

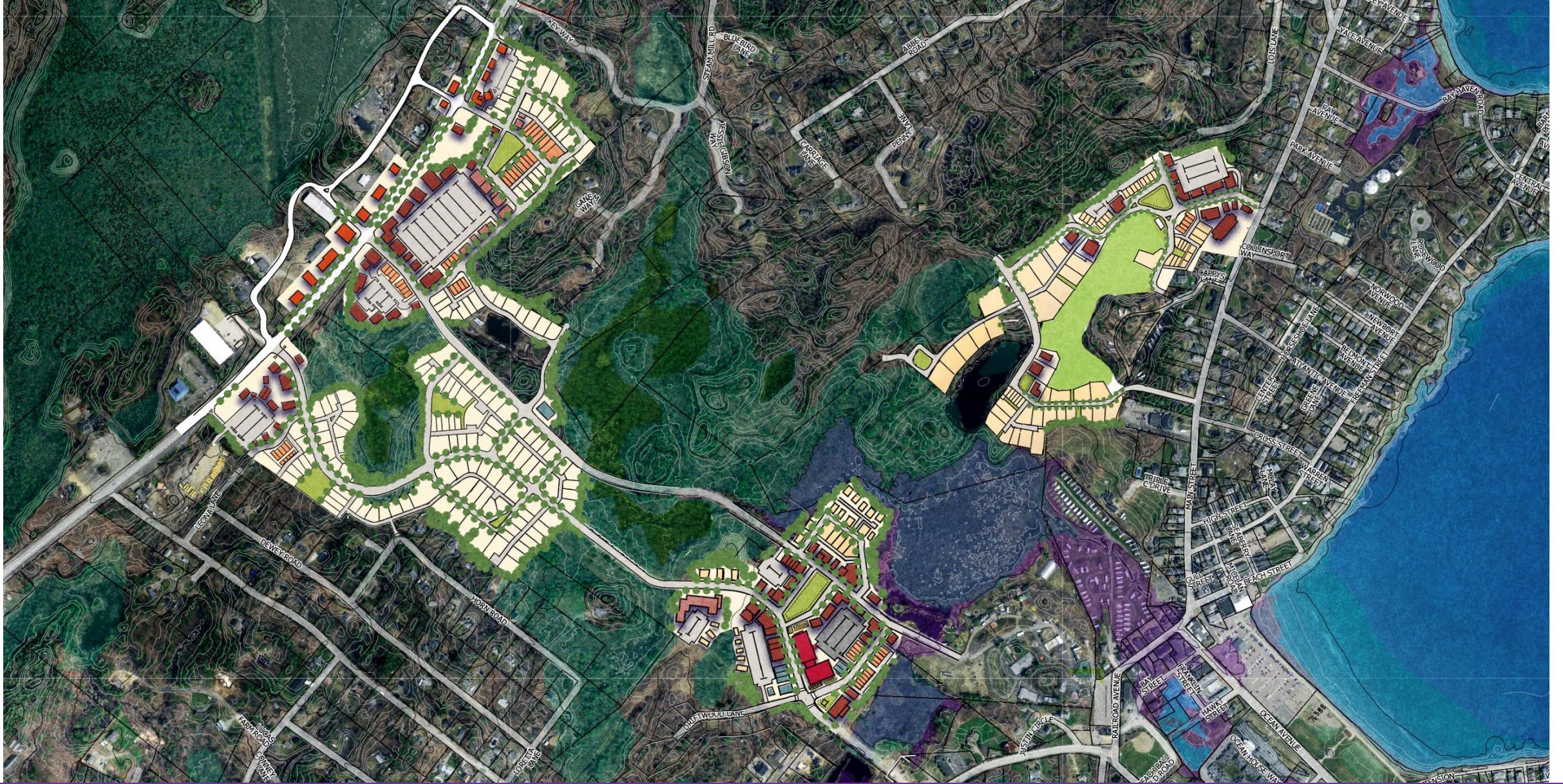
PLAN & RENDERINGS



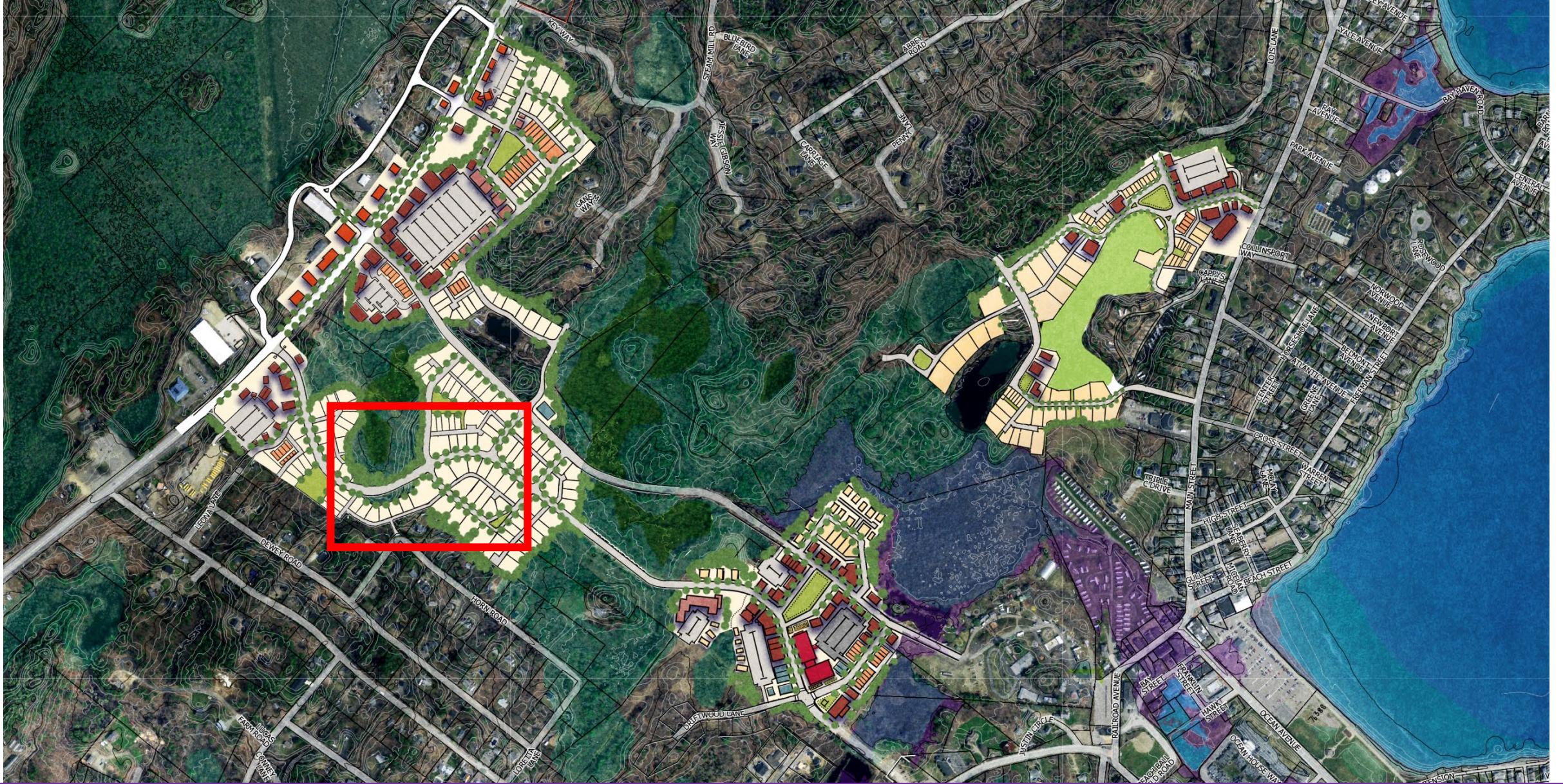
STARTING WITH THE LAND



VILLAGE EXTENSION BEFORE



VILLAGE EXTENSION AFTER



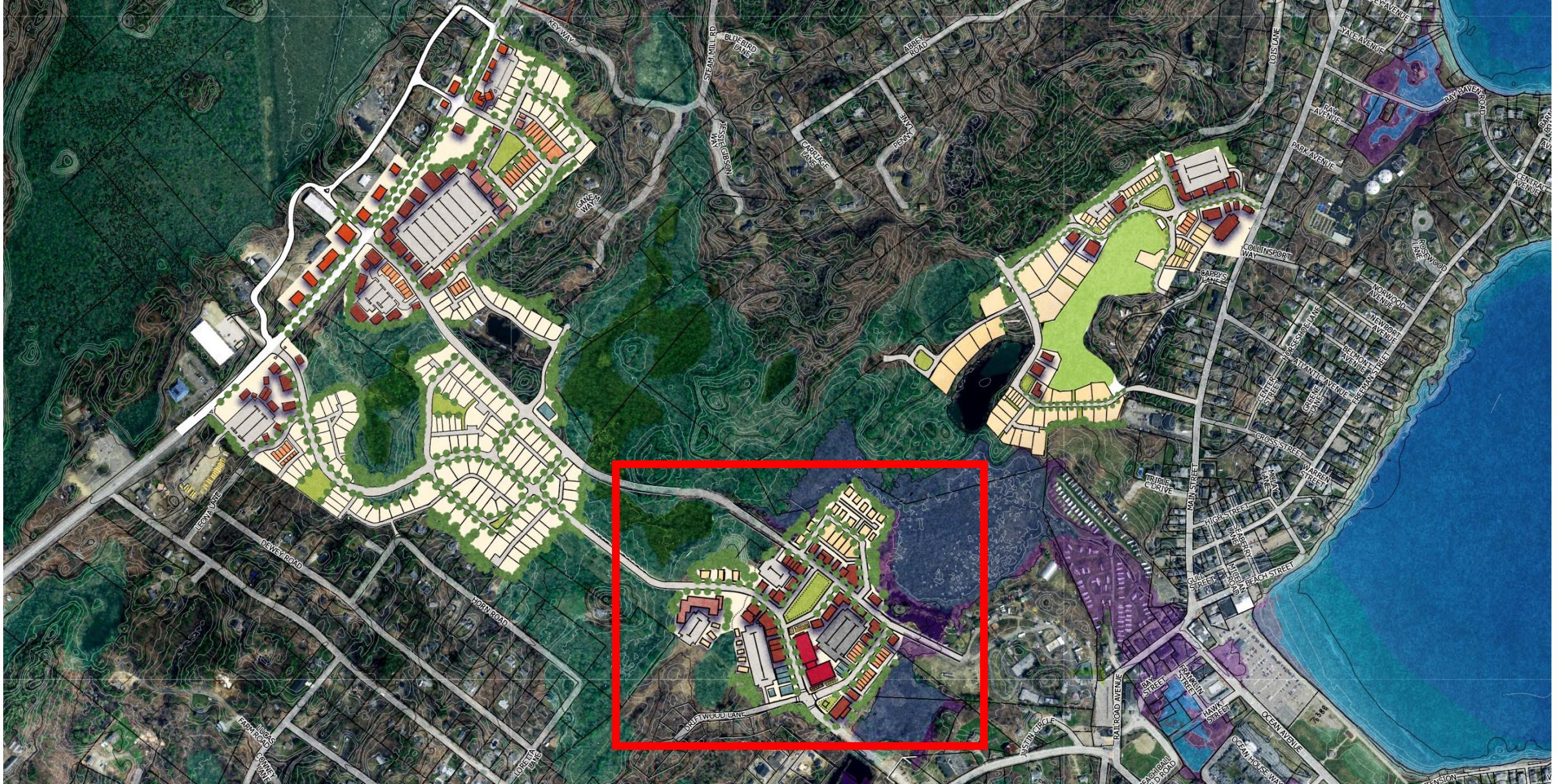
VILLAGE EXTENSION AFTER



VILLAGE EXTENSION AFTER



NEIGHBORHOOD CENTER



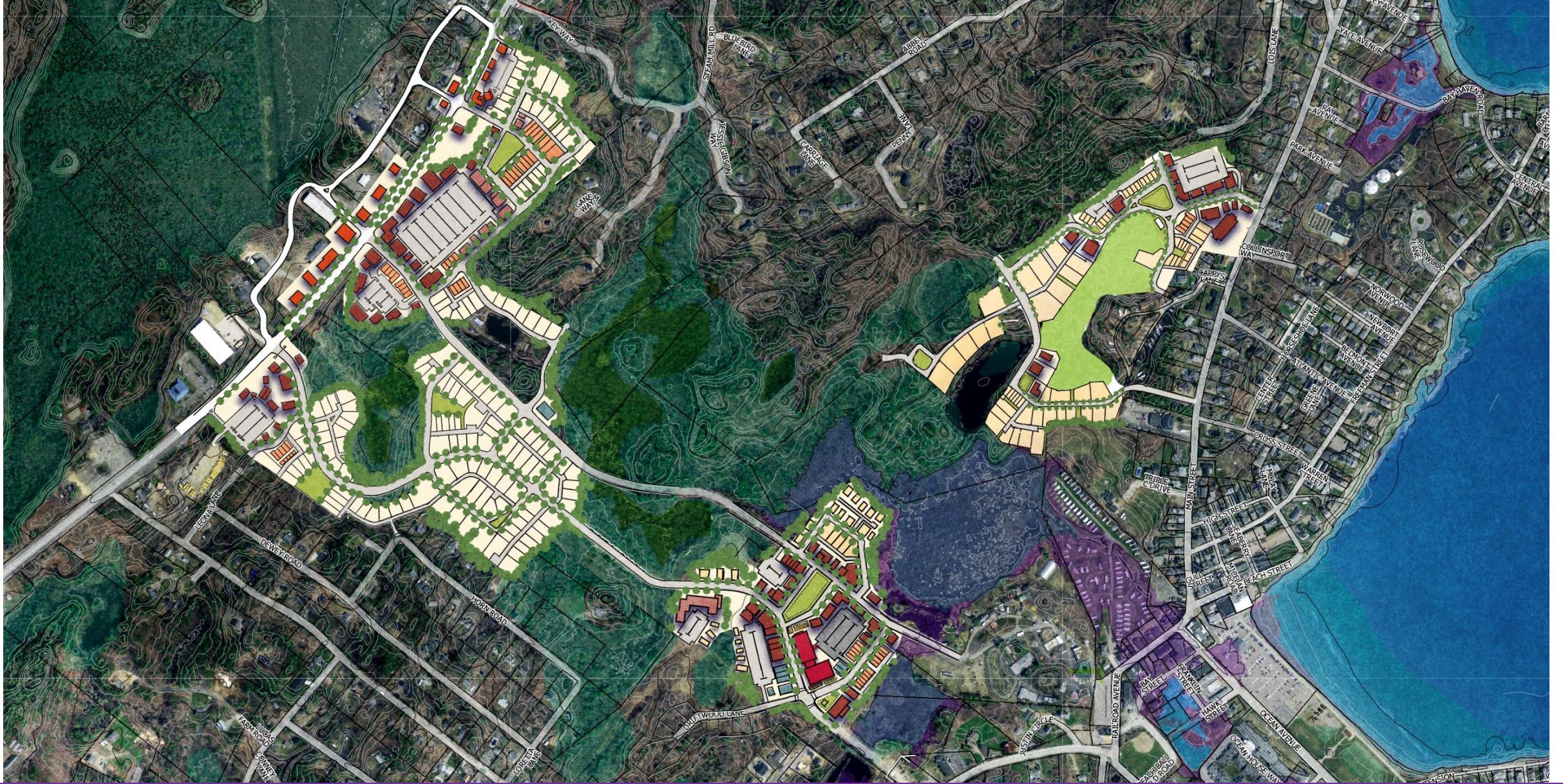
VILLAGE EXTENSION AFTER



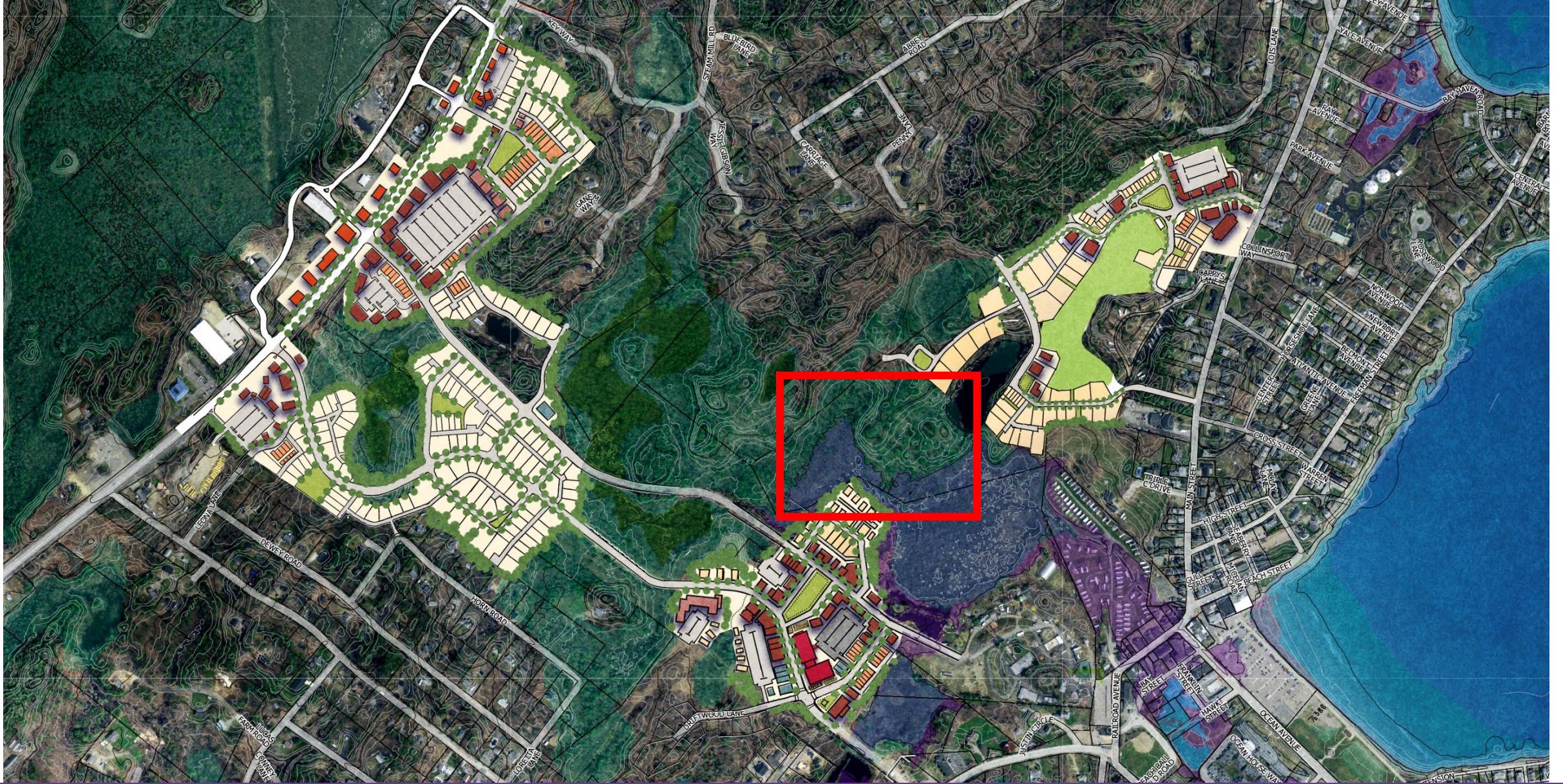
VILLAGE EXTENSION AFTER



VILLAGE CENTER



VILLAGE EXTENSION AFTER



VILLAGE EXTENSION AFTER

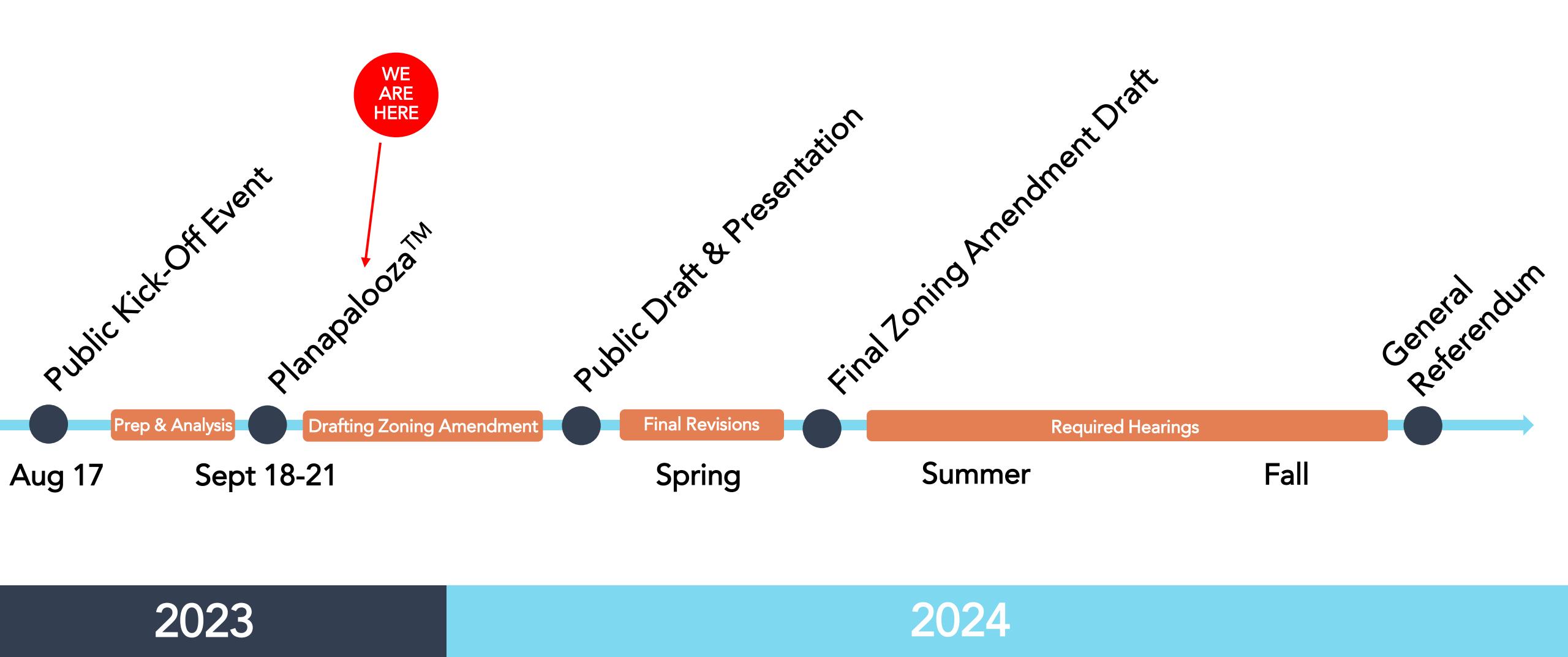


VILLAGE EXTENSION AFTER



WETLAND BOARDWALK

WRAPPING UP



PROJECT SCHEDULE



Municipal Social
Services Review Board

Parks & Recreation
Board

Planning Board

Recycling Committee

Route 1 Sewer
Extension Advisory
Committee

Senior Citizens Advisory
Board

Shellfish Commission

Single Use Plastic
Dining Ware Ordinance
Committee

[Home](#) > [Government](#) > [Boards & Commissions L - Z](#) > [York Beach Greenway District](#)

York Beach Greenway District

JOIN US IN PERSON OR THROUGH ZOOM BELOW!



YORK BEACH GREENWAY DISTRICT

york beach PLANAPALOOZA

MONDAY SEPT. 18TH TO THURSDAY SEPT. 21ST

This event will be held at the York Beach Fire Department

Join the Town of York and planning consultant, Town Planning & Urban Design Collaborative LLC, (TPUDC) to find out more about the Short Sands zoning redesign.

Learn about the goals of the project, provide your ideas, and help us build excitement for the project.

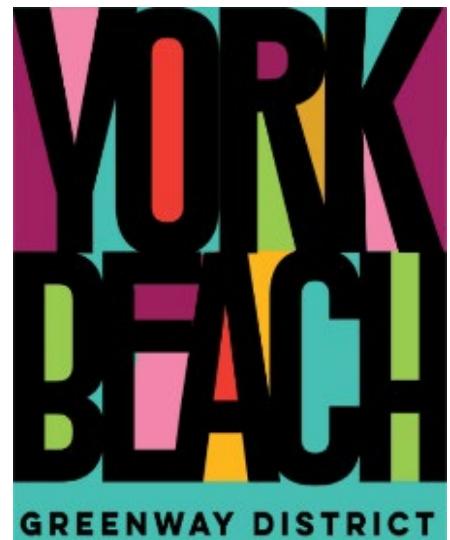
18 Railroad Ave. York Beach, ME 03910

STAY CONNECTED!



HOPES, DREAMS, FEARS, ASPIRATIONS?

LET'S CHAT!



PLANAPALOOZA WORK- IN-PROGRESS PRESENTATION

SEPTEMBER 21, 2023

