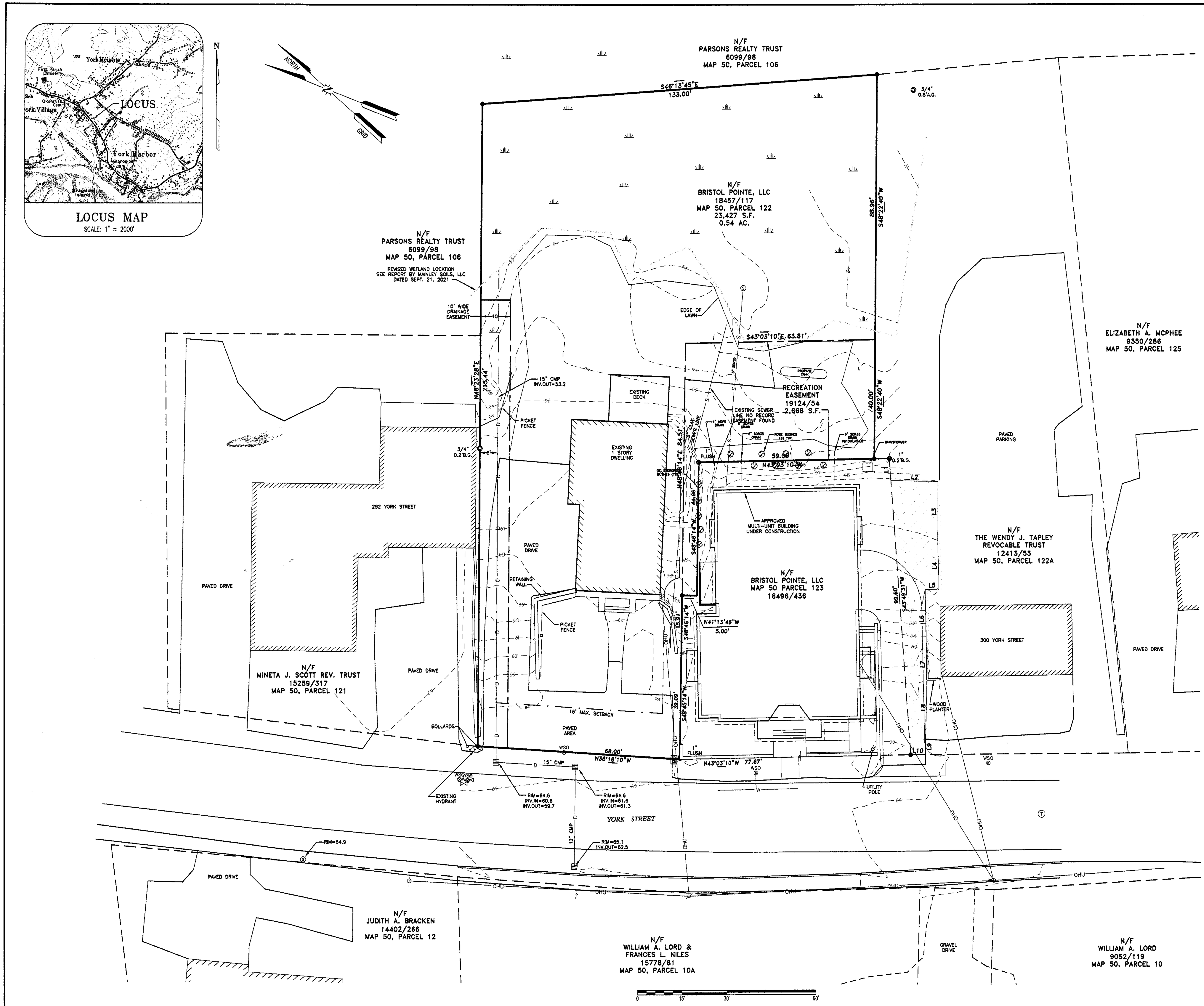

LOCUS MAP
SCALE: 1" = 2000'
LOCUS
York Heights
York Village
York Harbor
NORTH
GRID
N/F
PARSONS REALTY TRUST
6099/98
MAP 50, PARCEL 106
S46°13'45"E
133.00'
N/F
BRISTOL POINTE, LLC
18457/117
MAP 50, PARCEL 122
23,427 S.F.
0.54 AC.
REVISED WETLAND LOCATION
SEE REPORT BY MAINELY SOILS, LLC
DATED SEPT. 21, 2021
10' WIDE DRAINAGE EASEMENT
EDGE OF LAWN
S43°03'10"E 63.81'
RECREATION EASEMENT
19124/54
2,668 S.F.
EXISTING SEWER LINE NO RECORD EASEMENT FOUND
N/F
ELIZABETH A. MCPHEE
9350/286
MAP 50, PARCEL 125
EXISTING DECK
EXISTING 1 STORY DWELLING
PICKET FENCE
PAVED PARKING
N43°03'10"W
APPROVED MULTI-UNIT BUILDING UNDER CONSTRUCTION
N/F
BRISTOL POINTE, LLC
MAP 50 PARCEL 123
18496/436
N/F
THE WENDY J. TAPLEY
REVOCABLE TRUST
12413/53
MAP 50, PARCEL 122A
292 YORK STREET
300 YORK STREET
PAVED DRIVE
RETAINING WALL
N41°13'48"W
5.00'
N/F
MINETA J. SCOTT REV. TRUST
15259/317
MAP 50, PARCEL 121
15' MAX. SETBACK
PAVED AREA
BOLLARDS
WOOD PLANTER
68.00'
N38°18'10"W
N43°03'10"W 77.67'
EXISTING HYDRANT
UTILITY POLE
YORK STREET
N/F
JUDITH A. BRACKEN
14402/266
MAP 50, PARCEL 12
N/F
WILLIAM A. LORD &
FRANCES L. NILES
15776/81
MAP 50, PARCEL 10A
GRAVEL DRIVE
N/F
WILLIAM A. LORD
9052/119
MAP 50, PARCEL 10

LEGEND

- REBAR WITH CAP TO BE SET
- IRON PIPE FOUND (SIZE AS NOTED)
- UTILITY POLE (NUMBER AS NOTED)
- SQUARE CATCH BASIN
- SEWER MANHOLE
- TELEPHONE MANHOLE
- FIRE HYDRANT
- WATER VALVE
- WATER SHUT OFF
- MAILBOX
- SIGN
- BOUNDARY LINE
- ABUTTER OR RIGHT-OF-WAY LINE
- BUILDING SETBACK LINE
- EXISTING WATER LINE
- EXISTING SEWER LINE
- STONEWALL
- OVERHEAD UTILITIES
- EXISTING CONTOUR
- EDGE OF WETLAND
- N/F — NOW OR FORMERLY
- 1234/567 — DEED BOOK & PAGE
- A.G. — ABOVE GROUND
- B.G. — BELOW GROUND
- DECIDUOUS TREE
- EASEMENT AREA
- 20% SLOPES

NOTES

1. THE BASIS OF BEARING OF THIS SURVEY IS GRID NORTH.
2. RECORD OWNERSHIP OF THE PARCEL SURVEYED CAN BE FOUND IN A DEED FROM ANDY QING WANG & WENDY CHAN TO BRISTOL POINTE, LLC DEEDED NOVEMBER 17, 2020 AND RECORDED IN DEED BOOK 18457, PAGE 117 YORK COUNTY REGISTRY OF DEEDS.
3. THE PARCEL SHOWN IS LOCATED ON THE TOWN OF YORK ASSESSOR'S MAP 50, PARCEL 122.
4. REFERENCE IS MADE TO THE FOLLOWING PLAN OF RECORD:
   A. "PLAN SHOWING LAND OF WESLEY B. & ESTHER M. AUSTIN, HAZEL G. MESSER, & RICHARD L. & ALICE C. BERGERON YORK, MAINE" BY PLATO C. HOULIARES DATED AUGUST 1973 AND RECORDED IN PLAN BOOK 65, PAGE 29.
5. THE SUBJECT PARCEL IS LOCATED IN THE YVC-1 ZONE:
   MAX. FRONT SETBACK = 15 FEET
   MIN. SIDE & REAR SETBACK = 6 FEET
   MAX. BUILDING HEIGHT = 35 FEET
   MAX. LOT COVERAGE = 75%
   MAX. BUILDING FOOTPRINT = 7,000 S.F.

   THE DIMENSIONAL REQUIREMENTS SHOWN HEREON ARE TO BE VERIFIED WITH THE CODE OFFICE PRIOR TO DESIGN AND CONSTRUCTION. ADDITIONAL RESTRICTIONS MAY APPLY.
6. REFERENCE IS MADE TO THE FOLLOWING EASEMENTS OF RECORD:
   A. A 10 FOOT WIDE DRAINAGE EASEMENT TO THE STATE OF MAINE FOR THE INSTALLATION OF A 15" CORRUGATED METAL PIPE AS RECORDED IN DEED BOOK 1579 PAGE 191.
   B. SEWER EASEMENT TO YORK SEWER DISTRICT AS REFERENCED IN DEED BOOK 17671 PAGE 868. NO INSTRUMENT TO THE YORK SEWER DISTRICT WAS FOUND.
7. WETLAND DELINEATION PROVIDED BY MAINELY SOILS JULY 2020.
8. ELEVATIONS AND CONTOURS BASED ON NAVD88 DATUM.
9. EXISTING SEWER LINE MAPPED BY SEACOAST SEWER AND DRAIN SEPTEMBER 2019.
10. OFFSITE FEATURES SHOWN PER YORK GIS.
11. THE AVERAGE EXISTING GRADE IS 59.4' NAVD88 DATUM.

LINE TABLE

LINE	BEARING	LENGTH
L1	S43°49'31"W	7.44'
L2	S40°56'05"E	15.87'
L3	S48°22'36"W	20.24'
L4	S46°29'22"W	15.81'
L5	N43°54'15"W	4.65'
L6	S46°52'01"W	19.57'
L7	S46°47'59"W	10.91'
L8	S49°18'30"W	19.74'
L9	S48°18'29"W	5.17'
L10	N42°21'24"W	4.93'

APPROVAL OF THE PLANNING BOARD OF YORK, MAINE

[signature] 6/27/23
CHAIR DATE

YORK ss REGISTRY OF DEEDS
RECEIVED July 27 2023
AT 3 H 22 M P M., AND
RECORDED IN BOOK 433 PAGE 35
ATTEST: Nancy E Hammond
REGISTER

REVISION

NO.	DATE	BY:	DESCRIPTION
1	9-10-21	I.PLANTE	ADDED NOTE 11
2	10-5-21	I.PLANTE	ADDED UTILITY POLE LOC., ADJUSTED WETLAND DEL.
3	6-10-22	I.PLANTE	ADDED SIGNATURE BLOCK AND REGISTRY STAMP
4	4-11-23	I.PLANTE	ADDED RECREATION EASEMENT

STATE OF MAINE — ISAIAH E. PLANTE — PLS 2334 — PROFESSIONAL SURVEYOR

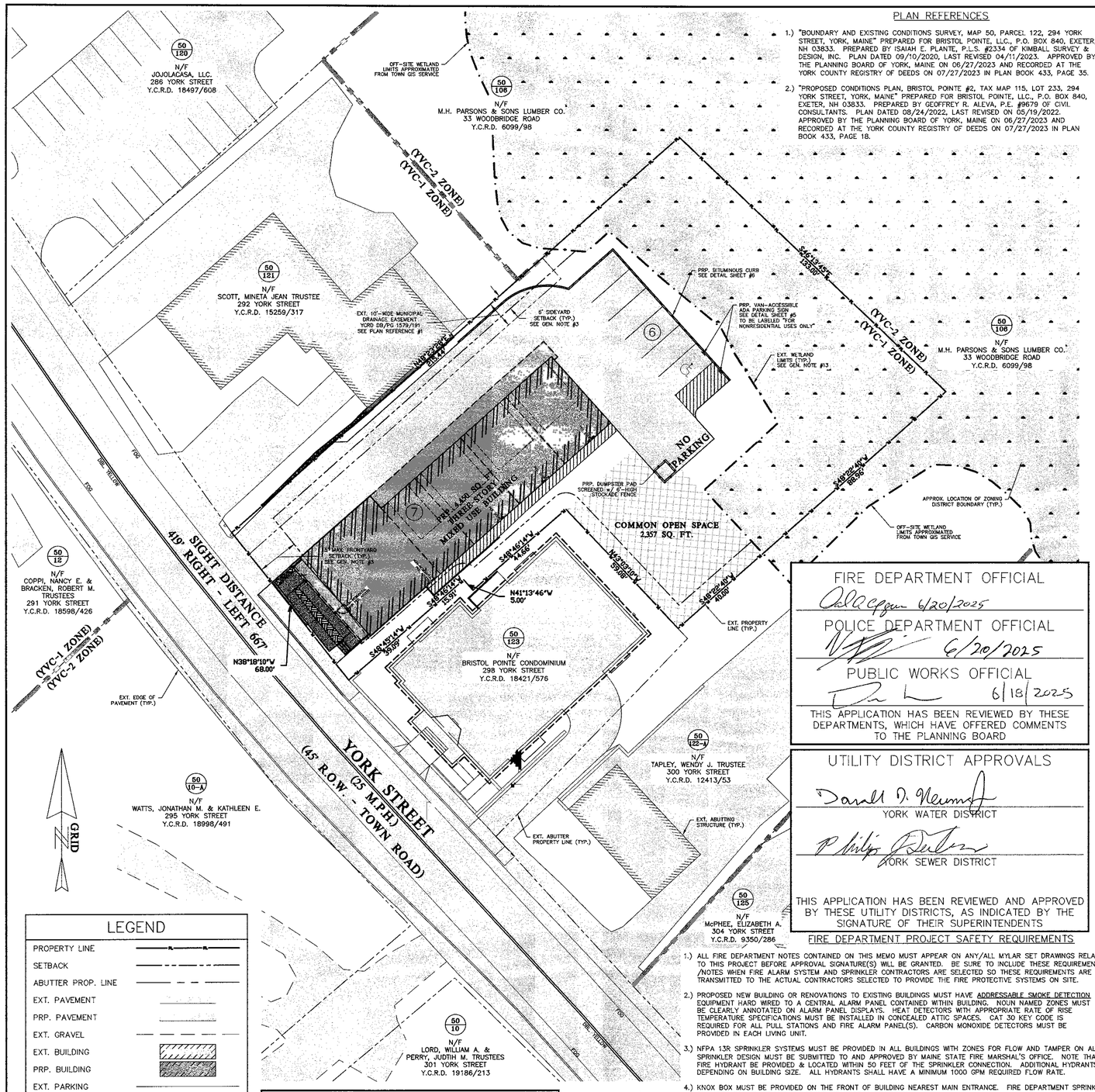
KIMBALL
SURVEY & DESIGN, INC.
30 FROST HILL ROAD
YORK, MAINE 03909
207-351-0226
ISAIAH@KIMBALLLANDSURVEYING.COM
WWW.KIMBALLLANDSURVEYING.COM
PROFESSIONAL LAND SURVEYING

Prepared for
Bristol Pointe, LLC
P.O. Box 840
Exeter, NH 03833

Boundary and Existing Conditions Survey
Map 50, Parcel 122
294 York Street
York, Maine

DATE: SEPTEMBER 10, 2020
PROJECT NO. 2219
SCALE: 1" = 15'
CAD FILE: 2219.dwg

SHEET 1 OF 1



PLAN REFERENCES

1.) "BOUNDARY AND EXISTING CONDITIONS SURVEY, MAP 50, PARCEL 122, 294 YORK STREET, YORK, MAINE" PREPARED FOR BRISTOL POINTE, LLC., P.O. BOX 840, EXETER, NH 03833. PREPARED BY ISAIAH E. PLANTE, P.L.S. #2334 OF KIMBALL SURVEY & DESIGN, INC. PLAN DATED 09/10/2020, LAST REVISED 04/11/2023. APPROVED BY THE PLANNING BOARD OF YORK, MAINE ON 06/27/2023 AND RECORDED AT THE YORK COUNTY REGISTRY OF DEEDS ON 07/27/2023 IN PLAN BOOK 433, PAGE 35.

2.) "PROPOSED CONDITIONS PLAN, BRISTOL POINTE #2, TAX MAP 115, LOT 233, 294 YORK STREET, YORK, MAINE" PREPARED FOR BRISTOL POINTE, LLC., P.O. BOX 840, EXETER, NH 03833. PREPARED BY GEOFFREY R. ALEVA, P.E. #9679 OF CIVIL CONSULTANTS. PLAN DATED 08/24/2022, LAST REVISED ON 05/19/2022. APPROVED BY THE PLANNING BOARD OF YORK, MAINE ON 06/27/2023 AND RECORDED AT THE YORK COUNTY REGISTRY OF DEEDS ON 07/27/2023 IN PLAN BOOK 433, PAGE 18.

FIRE DEPARTMENT OFFICIAL

6/20/2025

POLICE DEPARTMENT OFFICIAL

6/20/2025

PUBLIC WORKS OFFICIAL

6/18/2025

THIS APPLICATION HAS BEEN REVIEWED BY THESE DEPARTMENTS, WHICH HAVE OFFERED COMMENTS TO THE PLANNING BOARD

UTILITY DISTRICT APPROVALS

YORK WATER DISTRICT

YORK SEWER DISTRICT

THIS APPLICATION HAS BEEN REVIEWED AND APPROVED BY THESE UTILITY DISTRICTS, AS INDICATED BY THE SIGNATURE OF THEIR SUPERINTENDENTS

FIRE DEPARTMENT PROJECT SAFETY REQUIREMENTS

1.) ALL FIRE DEPARTMENT NOTES CONTAINED ON THIS MEMO MUST APPEAR ON ANY/ALL MYLAR SET DRAWINGS RELATING TO THIS PROJECT BEFORE APPROVAL SIGNATURE(S) WILL BE GRANTED. BE SURE TO INCLUDE THESE REQUIREMENTS /NOTES WHEN FIRE ALARM SYSTEM AND SPRINKLER CONTRACTORS ARE SELECTED SO THESE REQUIREMENTS ARE TRANSMITTED TO THE ACTUAL CONTRACTORS SELECTED TO PROVIDE THE FIRE PROTECTIVE SYSTEMS ON SITE.

2.) PROPOSED NEW BUILDING OR RENOVATIONS TO EXISTING BUILDINGS MUST HAVE ADDRESSABLE SMOKE DETECTION EQUIPMENT HARD WIRED TO A CENTRAL ALARM PANEL CONTAINED WITHIN BUILDING. NOUN NAMED ZONES MUST BE CLEARLY ANNOTATED ON ALARM PANEL DISPLAYS. HEAT DETECTORS WITH APPROPRIATE RATE OF RISE TEMPERATURE SPECIFICATIONS MUST BE INSTALLED IN CONCEALED ATTIC SPACES. CAT 30 KEY CODE IS REQUIRED FOR ALL PULL STATIONS AND FIRE ALARM PANEL(S). CARBON MONOXIDE DETECTORS MUST BE PROVIDED IN EACH LIVING UNIT.

3.) NFPA 13R SPRINKLER SYSTEMS MUST BE PROVIDED IN ALL BUILDINGS WITH ZONES FOR FLOW AND TAMPER ON ALARM PANEL NOTED ABOVE. SPRINKLER DESIGN MUST BE SUBMITTED TO AND APPROVED BY MAINE STATE FIRE MARSHAL'S OFFICE. NOTE THAT IT IS PREFERRED THAT A FIRE HYDRANT BE PROVIDED & LOCATED WITHIN 50 FEET OF THE SPRINKLER CONNECTION. ADDITIONAL HYDRANTS MAY BE REQUIRED DEPENDING ON BUILDING SIZE. ALL HYDRANTS SHALL HAVE A MINIMUM 1000 GPM REQUIRED FLOW RATE.

4.) KNOX BOX MUST BE PROVIDED ON THE FRONT OF BUILDING NEAREST MAIN ENTRANCE. FIRE DEPARTMENT SPRINKLER CONNECTION MUST BE PROVIDED FOR SYSTEM IN (3) ABOVE NEAREST MAIN ENTRANCE.

5.) REASONABLE FIRE APPARATUS ACCESS MUST BE PROVIDED AROUND ENTIRE BUILDING.

6.) PROVIDE CONSTRUCTION DETAILS ON BUILDING DESIGN WHEN AVAILABLE.

7.) ANY BUILDING CONTAINING LIVING SPACES, OFFICES OR OCCUPIED UNITS OF ANY TYPE ON TWO FLOORS OR MORE SHALL HAVE FIRE DEPARTMENT STANDPIPES FOR EACH FLOOR PROVIDED FOR FIREFIGHTING PURPOSES PER NFPA 14 REQUIREMENTS. ALL FLOORS MUST BE PROVIDED WITH STANDPIPES IN THE STAIRWELLS WITH 2½ FIRE HOSE CONNECTIONS WITH 1½ NPSH ADAPTERS FOR FIREFIGHTING.

8.) THE MAINE STATE FIRE MARSHAL'S OFFICE MUST REVIEW/APPROVE THE BUILDING PLANS AND BUILDING CONSTRUCTION DETAILS.

9.) ELEVATOR(S), IF PROVIDED, SHALL BE SIZED TO ACCOMMODATE THE CONVENIENT LOADING AND TRANSPORT OF AN AMBULANCE GURNEY.

10.) ADDRESS NUMBERING MUST BE PROVIDED ON STREET FACING ELEVATION(S) OF BUILDING(S) WITH A MINIMUM OF 4 INCH LETTERS TO ALLOW RESPONDERS A CLEAR INDICATION OF STREET NUMBERING FOR ALL NEWLY CONSTRUCTED BUILDING(S).

11.) THE FIRE CHIEF AND/OR FIRE INSPECTOR OF THE YFD RESERVES THE RIGHT TO AMEND OR ADD FIRE SAFETY REQUIREMENTS IF APPROPRIATE.

12.) COMMON ATTIC SPACES MAY REQUIRE ONE HOUR RATED FIRE SEPARATIONS DEPENDING ON BUILDING DESIGN AND CUBIC FOOTAGE CALCULATIONS.
A CERTIFICATE OF OCCUPANCY WILL BE GRANTED ONLY WHEN THE ABOVE NOTED FIRE SAFETY REQUIREMENTS ARE PROVIDED AND TESTED SATISFACTORY ON SITE.

LEGEND

- PROPERTY LINE
- SETBACK
- ABUTTER PROP. LINE
- EXT. PAVEMENT
- PRP. PAVEMENT
- EXT. GRAVEL
- EXT. BUILDING
- PRP. BUILDING
- EXT. PARKING
- PRP. PARKING
- EXT. WETLAND BNDY (UPLAND WETLAND)
- EXT. WETLAND AREA
- EXT. STOCKADE FENCE
- PRP. OPEN SPACE
- EXT. ZONING BOUNDARY

APPROVAL OF THE TOWN OF YORK PLANNING BOARD

	DATE
	6/17/2025
	6/17/25
Peter R. Smith	6/18/25

SIGNATURES OF 3 OR MORE PLANNING BOARD MEMBERS INDICATE APPROVAL OF THIS PLAN

STATE OF MAINE – YORK COUNTY
ss. REGISTRY OF DEEDS
RECEIVED July 01, 2025
AT 11 h. 21 m. A M. AND RECORDED IN
PLAN BOOK 449, PAGE 33
ATTEST Nancy E. Hammond REGISTER

CHRISTEN B WILBER 2351 — STATE OF MAINE — PROFESSIONAL LAND SURVEYOR

GENERAL NOTES (CONT.)

9.) PARKING PERFORMANCE STANDARDS APPLICABLE TO THE YVC–1 DISTRICT:

PER ZONING §15.3 "PARKING", THE PARKING STANDARDS OF §15.1.1.2 SHALL NOT APPLY IN THE YVC–1 DISTRICT. PARKING SPACES SHALL INSTEAD BE PROVIDED TO CONFORM TO THE NUMBER REQUIRED IN THIS SECTION. WHERE A PROPOSED USE DOES NOT FALL CLEARLY INTO ONE OF THE LISTED ACTIVITIES, THE BOARD SHALL DETERMINE THE ACTIVITY WHICH MOST CLOSELY RESEMBLES THE PROPOSED USE, AND THE PROPOSED USE SHALL COMPLY WITH THE PARKING STANDARDS OF THAT CATEGORY.

§15.3.A: PARKING REQUIREMENTS IN THE YVC–1 AND YVC–2 BASE ZONES SHALL BE 50% OF THAT SPECIFIED IN §15.1.1.2. (SEE GENERAL NOTE #10)

§15.3.C: THE PROVISIONS OF §17.4.B, WHICH REQUIRE DECREASING NON–CONFORMITY, SHALL NOT APPLY TO PARKING IN THE YVC–1 AND YVC–2 BASE ZONES.

10.) PARKING CALCULATION PER ZONING §15.1.1.2 "AMOUNT OF PARKING":

MULTI–FAMILY DWELLING:	2 PARKING SPACES PER DWELLING WITH 3+ BEDROOMS 1.5 PARKING SPACES PER DWELLING WITH < 3 BEDROOMS
PROFESSIONAL OFFICES:	1 PARKING SPACE PER 200 SQ. FT. GROSS LEASEABLE AREA, EXCLUSIVE OF CELLAR AND BULK STORAGE AREAS
PROPOSED RESIDENTIAL:	2x 2–BEDROOM DWELLING UNITS = [2 x 1.5] = 3 PARKING SPACES 3x 3–BEDROOM DWELLING UNITS = [3 x 2] = 6 PARKING SPACES
PROPOSED NON–RESIDENTIAL:	1,522 SQ. FT. COMBINED OFFICE & COMMERCIAL SPACE, EXCLUDING STORAGE [1,522 / 200] = 7.61 SPACES
TOTAL PARKING DEMAND:	[3 + 6 + 7.61] = 16.61 SPACES
PER GENERAL NOTE #9, ZONING §15.3.A: 50% REDUCTION ALLOWED IN YVC–1 BASE ZONE	
TOTAL PARKING REQUIRED:	[16.61 * 0.50] = 8.30 => 9 SPACES REQUIRED [13 PROVIDED, 1 ADA]

11.) OPEN SPACE CALCULATION, PER SITE/SUBDIVISION §7.13.1:

COMMON OPEN SPACE PROPOSED = 2,357 SQ. FT.
[2,357 / 23,427 SQ. FT. TOTAL PARCEL AREA] = 10.1% > 10% MINIMUM => OK

12.) LOT COVERAGE CALCULATION PER SITE/SUBDIVISION §7.4.1 "LAND NOT SUITABLE FOR DEVELOPMENT":

OVERALL PARCEL AREA:	= 23,427 SQ. FT. (0.54 AC.)
LESS AREAS BELOW NORMAL HIGH WATER MARK:	= 0 SQ. FT.
LESS AREAS WITHIN 100–YEAR FLOODPLAIN:	= 0 SQ. FT.
LESS PASSAGE RIGHTS–OF–WAY OR EASEMENTS:	= 1,600 SQ. FT. (0.037 AC.)
LESS UTILITY EASEMENTS > 90' IN WIDTH:	= 0 SQ. FT.
LESS WETLAND AREAS:	= 7,190 SQ. FT. (0.165 AC.)
LESS STEEP SLOPES (>20%):	= 0 SQ. FT.
REMAINING DEVELOPMENT LAND BALANCE:	= [23,427 – 1,600 – 7,190] = 14,637 SQ. FT.
PROPOSED BUILDING FOOTPRINT:	= 4,449 SQ. FT.
PROPOSED IMPERVIOUS COVER:	= 5,974 SQ. FT. TRAVELWAY & PARKING = 394 SQ. FT. FRONT ADA PATHWAYS
[4,449 + 5,974 + 394]	= 10,817 SQ. FT. (0.248 AC.)
[10,817 SQ. FT. / 14,637 SQ. FT.]	= 73.9% < 75% => OK

13.) DEPICTED WETLAND LIMITS WERE DELINEATED BY KEN GARDNER, MAINE CERTIFIED SOIL SCIENTIST, IN JUNE OF 2024 AND SURVEY–LOCATED BY ATTAR ENGINEERING, INC. IN JUNE OF 2024.

14.) BUILDING HEIGHT CALCULATION FOR THIS DEVELOPMENT SHALL BE MEASURED ACCORDING TO ZONING §2, DEFINITION OF BUILDING HEIGHT, SUBSECTIONS b) & c) AS A STRUCTURE OUTSIDE 500' OF THE NORMAL HIGH WATER MARK OF ANY LISTED WATERBODIES.

THE VERTICAL DISTANCE FROM THE AVERAGE PRE–DEVELOPMENT GRADE OF THE GROUND ADJOINING THE BUILDING TO THE AVERAGE DISTANCE BETWEEN THE EAVES AND RIDGE LEVEL FOR GABLE ROOFS. "AVERAGE PRE–DEVELOPMENT GRADE" IS THE AVERAGE GRADE, EXISTING ON APRIL 13, 2016, OF THE GROUND ADJOINING THE BUILDING OR A PROPOSED BUILDING, IN ITS NATURAL CONDITION PRIOR TO ANY SITE ALTERATION OR CONSTRUCTION ACTIVITY.

AVERAGE PRE–DEVELOPMENT GRADE:	= 59.4' OR 59'–5"
[TOPOGRAPHY PER PLAN REFERENCE #1, GRADE DECLARATION PER PLAN REFERENCE #2]	
[MEASUREMENT HELD FROM PRIOR APPROVALS PER DEFINITION SHOWN ABOVE, ELEVATION IN APRIL OF 2016]	
PRP. BUILDING HEIGHT OF PRIOR APPROVAL:	= 94.1' PER PLAN REFERENCE #2 (34.7' TO MIDPOINT)
PRP. BUILDING HEIGHT FOR AMENDMENT:	= 94'–5" (35.0')
[SEE SELECT PLAN SET SHEETS FROM REFERENCE #2 APPENDED TO END OF THIS SET]	

15.) THE PROPOSED INTERIOR TRAVELWAY IMPROVEMENTS INCLUDE A SLIGHT ENCROACHMENT ONTO THE PROPERTY OF NORTHERLY ABUTTER TM./L. 50/121 IN THE VICINITY OF THE EXISTING STONE & MORTAR RETAINING WALL, FOR A SPAN OF ROUGHLY 24' AND A TOTAL ENCROACHMENT AREA OF ROUGHLY 6 SQ. FT. THE DEVELOPER SHALL SECURE A CONSTRUCTION EASEMENT FOR IMPROVEMENTS IN THIS AREA.

16.) THE EXISTING DRAINAGE EASEMENT SUPPORTING THE MUNICIPAL INFRASTRUCTURE WHICH RUNS THROUGH THE SUBJECT PROPERTY, AS DEPICTED ON SHEET #2 AND PER PLAN REFERENCE #1, DOES NOT NEED TO BE LENGTHENED FOR THE PROPOSED UTILITY IMPROVEMENTS. THE EXISTING EASEMENT ENCOMPASSES THE PROPOSED OUTFALL LOCATION FOR THE ON–SITE STORMWATER MANAGEMENT.

17.) EXISTING LARGE TREES (>24" D.B.H.) ARE NOT DEPICTED IN THE PLAN SET, AND THE DEVELOPER REQUESTS A WAIVER FROM THIS REQUIREMENT. THERE ARE NO SUCH LARGE TREES PRESENT ON THE UPLAND AREAS OF THE SUBJECT PARCEL, AND THE DEVELOPMENT PROPOSES NO WETLAND IMPACTS SO ALL VEGETATION THEREIN SHALL REMAIN UNDISTURBED.

18.) THE PROPOSED DEVELOPMENT DOES NOT MEET ANY THRESHOLD OF THE MDEP NATURAL RESOURCES PROTECTION ACT (NRPA), CHAPTER 305, THAT WOULD REQUIRE A PERMIT–BY–RULE (PBR) TO BE OBTAINED. THE ON–SITE WETLAND COMPLEX CONTAINS EMERGENT FRESHWATER WETLANDS WITH LESS THAN 20,000 SQUARE FEET OF AQUATIC VEGETATION, WHICH IS BELOW THE THRESHOLD FOR SUBSECTION 2: "ACTIVITIES ADJACENT TO PROTECTED NATURAL RESOURCES".

19.) SITE LIGHTING SHALL CONSIST OF RECESS LIGHTING UNDER THE SOFFITS OF THE FRONT PORCH AS WELL AS EACH GARAGE DOOR ON THE NORTHERLY SIDE, PLUS FULLY SHIELDED WALL–PACK UNITS ABOVE EACH PEDESTRIAN DOOR ON THE SOUTHERLY SIDE. ALL LIGHTING SHALL BE DOWNWARD FACING, DARK SKY COMPLIANT, AND CONFORMING WITH ARTICLE 10–H OF THE TOWN OF YORK ZONING ORDINANCE.

20.) THIS DEVELOPMENT IS SUBJECT TO THE FOLLOWING PERCENTAGE OCCUPATION REQUIREMENTS, WHICH ARE NOT FROM THE CURRENTLY–ADOPTED ORDINANCE. SINCE THIS DEVELOPMENT IS AN AMENDMENT TO A PRIOR APPROVAL, THE ZONING AT THE TIME OF APPROVAL STILL GOVERNS FOR THESE CALCULATIONS:

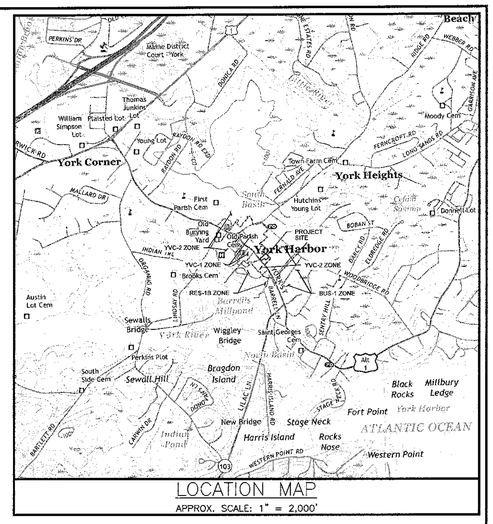
WITHIN THE YVC1 & YVC2 BASE ZONES, ON LOTS WITH FRONTAGE ON YORK STREET, THE "RESIDENTIAL USE" CATEGORY SHALL ONLY BE PERMITTED WITHIN A MIXED–USE BUILDING AND SHALL OCCUPY NO MORE THAN 50% OF THE FIRST FLOOR GROSS FLOOR AREA.

WITHIN THE YVC1 & YVC2 BASE ZONES, THE "OFFICE USE" CATEGORY IS PERMITTED ONLY WHEN IT DOES NOT OCCUPY MORE THAN 50% IN THE REAR OF THE STREET–LEVEL GROSS FLOOR AREA OF A BUILDING ADJACENT TO YORK STREET.

TOTAL GROSS FLOOR AREA: (IDENTIFIED ON ARCHITECTURAL PLANS AS FIRST FLOOR, STREET–LEVEL STORY TO YORK STREET)	= 4,224 SQ. FT.
TOTAL FIRST FLOOR RESIDENTIAL AREAS:	= 2,029 SQ. FT.
RESIDENTIAL USE PERCENTAGE:	= [2,029 / 4,224] = 48.0% < 50% => OK
TOTAL REAR–HALF SQUARE FOOTAGE:	= 2,080 SQ. FT.
REAR–HALF FIRST FLOOR COMMERCIAL AREAS:	= 212 SQ. FT.
COMMERCIAL USE PERCENTAGE:	= [212 / 2080] = 10.2% < 50% => OK

21.) THE PROPOSED 1,000–GALLON GAS TANK DEPICTED ON THE DEVELOPED CONDITION PLAN SHALL BE INSTALLED UNDERGROUND AND SHALL MAINTAIN AT LEAST A 10' SEPARATION FROM THE ABUTTING PROPERTY LINE.

THIS PLAN IS AN AMENDMENT TO REFERENCE PLAN #2 "PROPOSED CONDITIONS PLAN, BRISTOL POINTE #2, TAX MAP 115, LOT 233, 294 YORK STREET, YORK, MAINE" APPROVED BY THE TOWN OF YORK PLANNING BOARD ON JUNE 27, 2023. THE PROPOSED USES ARE TO REMAIN THE SAME, BUT CHANGES OTHERWISE INCLUDE A REVISED BUILDING LOCATION, PARKING AND EGRESS LAYOUT TO UTILIZE MORE OF THE EXISTING CONDITION, AND PROPOSED CHANGES TO ON–SITE STORMWATER MANAGEMENT.



LOCATION MAP

APPROX. SCALE: 1" = 2,000'

GENERAL NOTES

1.) THIS PLAN DEPICTS AN AMENDMENT TO THE PREVIOUSLY–APPROVED MIXED USE DEVELOPMENT FOR THE SUBJECT PARCEL, DEMOLISHING THE EXISTING STRUCTURE AND CONSTRUCTING A THREE–STORY, ~4,450 SQ. FT. MIXED USE BUILDING. THE MIXED USE BUILDING IS PROPOSED TO BE OCCUPIED BY TWO (2) COMMERCIAL TENANTS ON THE FIRST FLOOR (BUSINESS/ PROFESSIONAL OFFICE), WITH THE REMAINDER OF THE BUILDING BEING OCCUPIED BY FIVE (5) TOWNHOUSE–STYLE RESIDENTIAL DWELLING UNITS. THE REMAINDER OF THE PROPOSED DEVELOPMENT INCLUDES PARKING, UTILITY, AND GRADING IMPROVEMENTS.

2.) THE SUBJECT PARCEL, LOCATED AT 294 YORK STREET, IS IDENTIFIED AS LOT 122 ON TAX MAP 50, CONSISTS OF APPROXIMATELY 0.54 ACRES IN AREA, AND IS LOCATED IN THE YORK VILLAGE CENTER (YVC–1) BASE ZONING DISTRICT. "MULTI FAMILY DWELLING" AND "BUSINESS, FINANCIAL, PROFESSIONAL, OR GOVERNMENT OFFICE" ARE ALL PERMITTED USES IN THE YVC–1 ZONE AS PER ZONING ORDINANCE ARTICLE 4, "USE REGULATIONS".

3.) DIMENSIONAL REQUIREMENTS FOR THE YVC–1 AS PER ZONING §5.2.2, "SCHEDULE OF DIMENSIONAL REGULATIONS, OTHER DISTRICTS":

MIN. LAND AREA:	5,000 SQ. FT. WITH YEAR–ROUND PUBLIC WATER & SEWER [SEE GEN. NOTE #11]
MIN. STREET FRONTAGE:	50' WITH YEAR–ROUND PUBLIC WATER & SEWER [68 FT. PROVIDED]
MIN. LOT DEPTH:	NONE
SETBACKS:	15' FRONT YARD (MAXIMUM) 6' REAR YARD (MINIMUM)(B) 6' SIDE YARD (MINIMUM)(B)(C)(C)
MAX. LOT COVERAGE:	75%(D)
MAX. BUILDING & STRUCTURE HEIGHT:	35' [35'–0" PROVIDED – SEE GENERAL NOTE #14]
MAX. BUILDING FOOTPRINT:	7,000 SQ. FT. [4,620 SQ. FT. PROVIDED]

(B) – PER ZONING §5.2, FOOTNOTE 'K', STORMWATER MANAGEMENT FACILITIES SHALL BE EXEMPT FROM YARD SETBACKS EXCEPT FOR THE FOLLOWING TYPES OF STORMWATER FACILITIES: STORMWATER WET PONDS, DETENTION PONDS, BASINS, RETENTION PONDS, AND ANY ABOVE GROUND OR ABOVE FINISHED GRADE STORMWATER MANAGEMENT FACILITY STRUCTURES THAT MAY INCLUDE PIPING (INCLUDING OUTFALL PIPES), CONCRETE, RIPRAP, OR OTHER SIMILAR CONSTRUCTED INFRASTRUCTURE INTENDED TO CONTROL STORMWATER RUNOFF QUANTITY OR QUALITY.

(C) – PER ZONING §5.2, FOOTNOTE 'I', LOTS WITHIN THE YVC–1 DISTRICT SHALL HAVE A MINIMUM SIDE YARD SETBACK OF 6 FEET EXCEPT THAT THIS MAY BE REDUCED TO ZERO (0) FEET ON ONE SIDE, PROVIDED THE CUMULATIVE SIDE YARD SETBACKS ARE NOT LESS THAN TWELVE (12) FEET.

(D) – PER ZONING §5.2, FOOTNOTE 'X', MAXIMUM LOT COVERAGE MAY BE INCREASED UP TO 100% IF THE OWNER PROVIDES INNOVATIVE STORMWATER DESIGNS USING LOW IMPACT DEVELOPMENT (LID), PUBLIC SPACE, AND/OR INNOVATIVE LANDSCAPE DESIGN AS APPROVED BY THE PLANNING BOARD.

4.) SITE TOPOGRAPHY, EXISTING GROUND SURFACE CONDITIONS, AND BOUNDARY MONUMENTATION ARE DEPICTED BASED ON STATE OF MAINE ORTHOIMAGERY, STATE AND TOWN GIS IMAGERY, AND PLAN REFERENCES 1 & 2. EXISTING CONDITIONS OF ABUTTING PROPERTIES ARE APPROXIMATE. VERTICAL DATUM IS NAVD88.

5.) MULTI–FAMILY DWELLING PROVISIONS APPLICABLE TO THE YVC–1 DISTRICT:

PER ZONING §5.3.3, EACH DWELLING UNIT IN A MULTI–FAMILY DWELLING SHALL HAVE AT LEAST SIX HUNDRED (600) SQUARE FEET OF INTERNAL HABITABLE FLOOR SPACE INCLUDING BATHROOMS. SUCH DWELLING UNITS MAY BE LAID OUT VERTICALLY ON MORE THAN ONE FLOOR WITHIN A BUILDING, BUT AT LEAST FOUR HUNDRED (400) SQUARE FEET OF INTERNAL HABITABLE FLOOR SPACE SHALL BE PROVIDED ON ONE OF THOSE STORIES.

6.) SUPPLEMENTAL USE REQUIREMENTS APPLICABLE TO THE YVC–1 DISTRICT:

PER ZONING §6.1.8.3 "SETBACKS AND SCREENING", THE YVC–1 DISTRICT IS EXEMPT FROM THE RESIDENTIAL AND NON–RESIDENTIAL SCREENING REQUIREMENTS OF THIS PROVISION, PROVIDED THE LOT WITHIN THE YVC–1 DISTRICT IS NOT ADJACENT TO A RESIDENTIAL DISTRICT OR HISTORIC DISTRICT.

PER ZONING §6.1.8.3 "SETBACKS AND SCREENING", THE YVC–1 DISTRICT IS EXEMPT FROM THE PARKING LANDSCAPE BUFFER STRIP REQUIREMENTS OF THIS PROVISION. ANY PROPOSED STORAGE AREAS WOULD STILL BE REQUIRED TO COMPLY.

PER ZONING §6.1.12.1 "NON–RESIDENTIAL PERFORMANCE STANDARDS", THE PLANNING BOARD SHALL GIVE CONSIDERATION TO HOW ANY PROPOSED PROJECT WITHIN THE YVC–1 DISTRICT ENHANCES THE TRADITIONAL NORTHERN NEW ENGLAND VILLAGE CHARACTER OF THE YORK VILLAGE CENTER DISTRICTS, IN A MANNER CONSISTENT WITH THE COMPREHENSIVE PLAN. NEW BUILDINGS SHALL NOT DIMINISH THE PROMINENCE OF EXISTING CHURCH STEEPLES OR HISTORIC MARKERS. THE FOLLOWING MATERIALS ARE EXPRESSLY PROHIBITED FROM BUILDING EXTERIORS IN THE YVC–1: VINYL SIDING, ALUMINUM SIDING, EXTERIOR INSULATION AND FINISHING SYSTEM ("EIFS"), AND FOAM OR PVC MATERIALS.

7.) THE CONTRACTOR MUST CONTACT DIG SAFE AND ALL LOCAL UTILITY DISTRICTS PRIOR TO THE START OF CONSTRUCTION TO VERIFY THE LOCATION OF EXISTING SUBSURFACE UTILITIES AND CONDITIONS. LOCATING AND PROTECTING ANY UNDERGROUND OR ABOVE–GROUND UTILITY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. LIMITS OF DISTURBANCE FOR THE PROPOSED AMENDMENT ARE DENOTED BY THE LOCATION OF PROPOSED EROSION AND SEDIMENTATION CONTROLS, AND THESE LIMITS SHALL BE VISUALLY DELINEATED IN THE FIELD PRIOR TO THE PRE–CONSTRUCTION MEETING.

8.) THIS DEVELOPMENT IS CURRENTLY SERVICED BY AND PROPOSES TO CONTINUE TO BE SERVICED BY PUBLIC SEWER (YORK SEWER DISTRICT) AND PUBLIC WATER (YORK WATER DISTRICT). ALL UTILITY MATERIALS, SIZES, AND CONSTRUCTION PRACTICES SHALL BE IN ACCORDANCE WITH STANDARDS OF THE YORK SEWER DISTRICT (YSD) AND YORK WATER DISTRICT (YWD). THE EXISTING WATER SERVICE SHALL BE ABANDONED AT THE WATER MAIN PER YWD STANDARDS. PROPOSED NEW WATER MAIN AND SERVICES EXTENDING TO THE BUILDING DEPICTED ON SHEET #3. FINAL LAYOUT SHALL BE APPROVED BY THE YORK WATER DISTRICT (YWD) PRIOR TO THE START OF CONSTRUCTION.

GRAPHIC SCALE

0 20 40 60 80 (FEET)

TAX MAP 50, LOT 122

NO.	DESCRIPTION	DATE
	REVISIONS	
G	CONDITIONS OF APPROVAL REVISIONS	05/23/25
F	PRELIM. & FINAL APPROVAL REVISIONS	05/05/25
E	PRELIM. & FINAL APPROVAL REVISIONS	04/22/25
D	PRELIM. & FINAL APPROVAL REVISIONS	04/04/25
C	PRELIM. & FINAL COMPLETENESS REVISIONS	03/20/25
B	PRELIM. & FINAL COMPLETENESS REVISIONS	01/17/25
A	PRELIMINARY & FINAL SUBMISSION	10/07/24

STATE OF MAINE — KENNETH A. WOOD No. 5992 — LICENSED PROFESSIONAL ENGINEER

OVERALL SITE PLAN AMENDMENT
CARRIAGE LANDING – BRISTOL POINTE #2
294 YORK STREET, YORK, MAINE

FOR: GRAYSTONE BUILDERS, INC.
C/O WALTER WOODS, 764 U.S. ROUTE 1, SUITE #11
YORK, ME 03909

ATTAR ENGINEERING, INC.
CIVIL ◆ STRUCTURAL ◆ MARINE ◆ SURVEYING
1284 STATE ROAD – ELIOT, MAINE 03903
PHONE: (207)439–6023 FAX: (207)439–2128

SCALE:	APPROVED BY:	DRAWN BY:
1" = 20'		MJS
DATE:		REVISION DATE:
09/18/24	6/18/2025	G : 05/23/25
JOB NO: 24008	FILE: 294 YORK ST BASE.DWG	SHEET: 1

GENERAL NOTES

1.) ALL BOUNDARY, TOPOGRAPHIC, AND OTHER FEATURES DEPICTED HEREIN AS PER PLAN REFERENCE #1 ON SHEET #1, ONLY.

2.) SEE PLAN REFERENCE #2, AS APPROVED BY THE YORK PLANNING BOARD, "PUE" (PROPOSED UNDERGROUND ELECTRIC). SEE ALSO "DECLARATION OF CONDOMINIUM OF BRISTOL POINTE CONDOMINIUM, BOOK 18421 PAGE 576, ARTICLE 6.6, AS EXTENDED BY ARTICLE 15.

EXT. 3,750 SQ. FT. ABUTTING STRUCTURE FIRST FLOOR ELEV. = 66.64'

EXT. 2,160 SQ. FT. TWO-STORY STRUCTURE TO BE REMOVED

YORK STREET (25 M.P.H.)

EXT. ABUTTER PROPERTY LINE (TYP.)
EXT. WATER SHUT OFF (TYP.)
EXT. WATER VALVE (TYP.)
EXT. HYDRANT w/ BOLLARDS
EXT. STONE & MORTAR RETAINING WALL T.O.W. = 64.6' B.O.W. = 60.5'
EXT. STONE & MORTAR RETAINING WALL T.O.W. = 65.5' B.O.W. = 59.5'
EXT. EXPANDED FOOTING OF ABUTTING STRUCTURE
EXT. CATCH BASIN RIM ELEV. = 64.60' 15" CMP INV. IN = 60.60' 15" CMP INV. OUT = 59.70'
APPROX. LOCATION OF EXT. 12" D.I. WATER MAIN
EXT. CATCH BASIN RIM ELEV. = 65.10' 12" CMP INV. OUT = 62.50'
EXT. WATER SERVICE TO BE ABANDONED AT WATER MAIN PER YORK WATER DISTRICT STANDARDS
EXT. CATCH BASIN RIM ELEV. = 64.60' 12" CMP INV. IN = 61.60' 15" CMP INV. OUT = 61.30'
EXT. STRUCTURE TO BE DEMOLISHED
EXT. PATIO/DECK TO BE DEMOLISHED
EXT. EDGE OF PAVEMENT (TYP.)
EXT. PROPERTY LINE (TYP.)
EXT. POWER POLE & OVERHEAD ELECTRIC (TYP.)
EXT. CONCRETE PADS TO BE REMOVED
N48°46'14"E 84.51'
EXT. ABUTTING STRUCTURE (TYP.)
EXT. 4" PVC FOUNDATION DRAIN INV. OUT = 56.29'
EXT. 6" PVC FOUNDATION DRAIN INV. OUT = 55.03'
EXT. 6" PVC FOUNDATION DRAIN INV. OUT = 55.68'
EXT. 6" PVC FOUNDATION DRAIN INV. OUT = 56.17'
EXT. GAS METER LOCATIONS
EXT. ELECTRIC TRANSFORMER TO REMAIN
N48°23'28"E 115.00'
APPROX. 53' OF EXT. 15" CMP OUTFALL TO BE EXCAVATED & REMOVED. REMAINING RUN OF 15" CMP CONNECTING TO PROP. NEW CATCH BASIN S18 &CT TO REPLACEMENT PENDING FIELD INVESTIGATION AND ANALYSIS OF CONDITION
EXT. STOCKADE FENCE TO BE REMOVED
EXT. 15" CMP INV. OUT = 54.70'
N41°36'32"W 10.00'
N48°23'28"E 35.00'
EXT. 10' DRAINAGE EASEMENT TO REMAIN SEE PLAN REFERENCE #1 YCRD 69/PG 1579/SH
EXT. WETLAND LIMITS (TYP.) SEE GEN. NOTE #13 ON SHEET #1
EXT. SEWER SERVICES CONNECTING TO EXT. CROSS-COUNTRY SEWER MAIN SEE PLAN REFERENCE #2
EXT. 6"x4" REDUCER & EXT. 4" SDR35 SEWER SERVICE TO BE REMOVED AND CAPPED AT WYE
EXT. SMH #2 RIM ELEV. = 53.60' 6" SDR26 INV. OUT = 48.8'
EXT. SMH #1 RIM ELEV. = 54.75' 6" SDR35 INV. IN = 49.2' 6" SDR26 INV. OUT = 49.1'
S43°03'10"E 63.81'
40' RECREATION EASEMENT IN SERVICE OF ABUTTING PARCEL M/L 50/123 (BRISTOL POINTE #1) SEE PLAN REFERENCE #1 AND GENERAL NOTE #2
EXT. ABOVE-GROUND PROPANE TANK & APPROX. LOCATION OF GAS SERVICE LINE (BOTH TO REMAIN)
APPROVED PROPANE TANK LOCATIONS (2x 1,000-GAL SUBSURFACE TANKS) PER PLAN REFERENCE #2
40.00' S43°22'40"W
OFF-SITE WETLAND LIMITS APPROXIMATED FROM TOWN GIS SERVICE
A1 A2 A3 A4 A5 A6 A7 A8

LEGEND

PROPERTY LINE	
SETBACK	
ABUTTER PROP. LINE	
EXT. PAVEMENT	
EXT. CONCRETE	
EXT. BUILDING	
EXT. STONEWALL	
EXT. STOCKADE FENCE	
EXT. OVERHEAD ELEC	OHU
EXT. POWER POLE	
EXT. GUY ANCHOR	
EXT. WATER LINE	W
EXT. WATER VALVE	
EXT. WATER SHUTOFF	
EXT. WATER HYDRANT	
EXT. STORM LINE	D
EXT. CATCH BASIN	
EXT. MAJOR CONTOUR	XXX
EXT. MINOR CONTOUR	

GRAPHIC SCALE
0 10 20 30 40 (FEET)

THIS PLAN IS AN AMENDMENT TO REFERENCE PLAN #2: "PROPOSED CONDITIONS PLAN, BRISTOL POINTE #2, TAX MAP 115, LOT 233, 294 YORK STREET, YORK, MAINE" APPROVED BY THE TOWN OF YORK PLANNING BOARD ON JUNE 27, 2023. THE PROPOSED USES ARE TO REMAIN THE SAME, BUT CHANGES OTHERWISE INCLUDE A REVISED BUILDING LOCATION, PARKING AND EGRESS LAYOUT TO UTILIZE MORE OF THE EXISTING CONDITION, AND PROPOSED CHANGES TO ON-SITE STORMWATER MANAGEMENT.

STATE OF MAINE — CHRISTEN B. WILBER 2361 — PROFESSIONAL LAND SURVEYOR

TAX MAP 50, LOT 122

APPROVAL OF THE TOWN OF YORK PLANNING BOARD

CHAIR _____ DATE 6/17/2025

STATE OF MAINE – YORK COUNTY
ss. REGISTRY OF DEEDS
RECEIVED July 01, 2025
AT 11 h. 21 m. A M. AND RECORDED IN
PLAN BOOK 449, PAGE 28
ATTEST Nancy S. Hammond REGISTER

NO.	DESCRIPTION	DATE
	REVISIONS	
E	PRELIM. & FINAL APPROVAL REVISIONS	05/05/25
D	PRELIM. & FINAL APPROVAL REVISIONS	04/22/25
C	PRELIM. & FINAL APPROVAL REVISIONS	04/04/25
B	PRELIM. & FINAL COMPLETENESS REVISIONS	03/20/25
A	PRELIMINARY & FINAL SUBMISSION	10/07/24

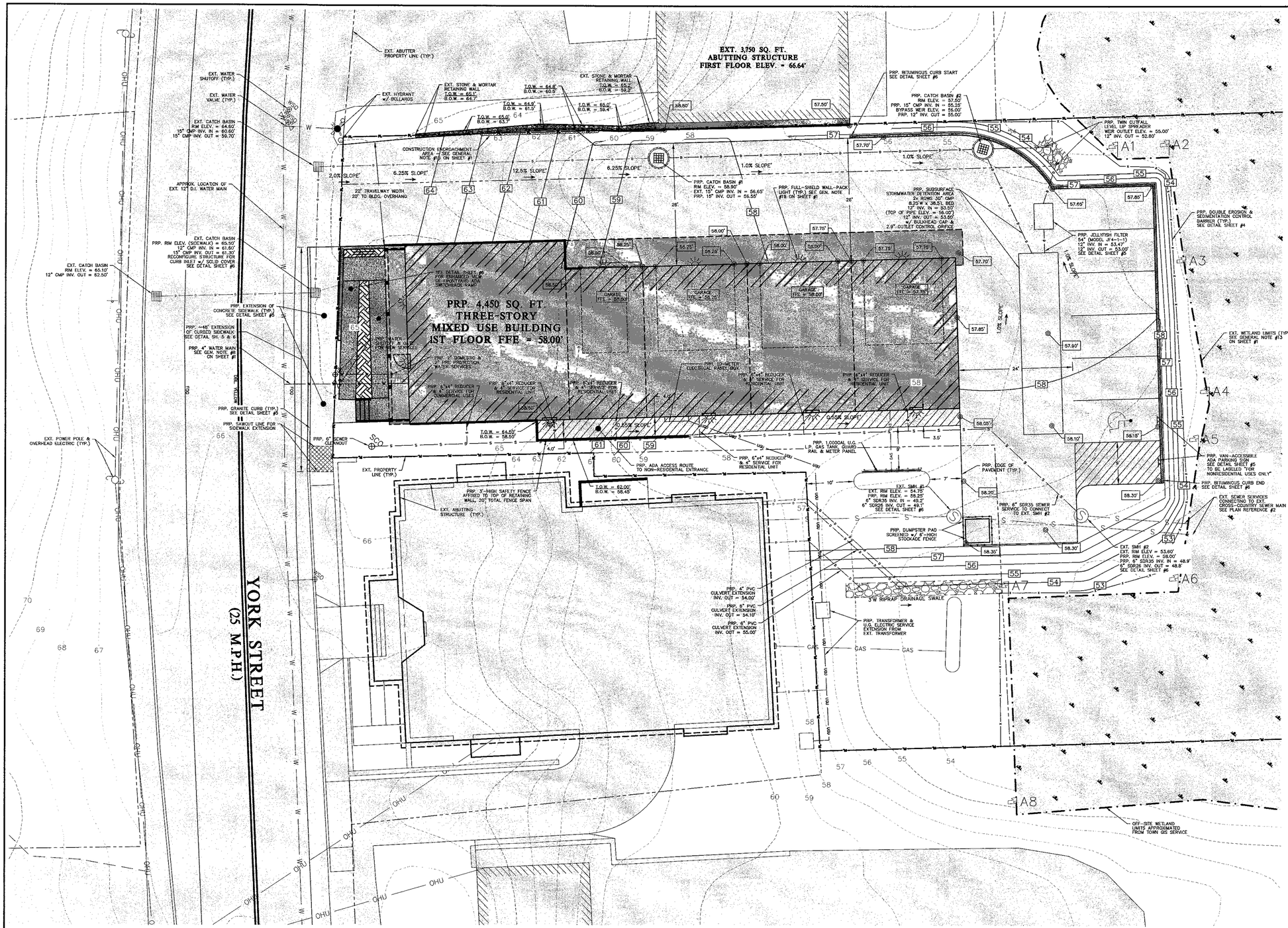
STATE OF MAINE — KENNETH A. WOOD No. 5992 — LICENSED PROFESSIONAL ENGINEER

AMENDED EXISTING CONDITIONS PLAN
CARRIAGE LANDING – BRISTOL POINTE #2
294 YORK STREET, YORK, MAINE

FOR: GRAYSTONE BUILDERS, INC.
C/O WALTER WOODS, 764 U.S. ROUTE 1, SUITE #11
YORK, ME 03909

ATTAR ENGINEERING, INC.
CIVIL ◆ STRUCTURAL ◆ MARINE ◆ SURVEYING
1284 STATE ROAD – ELIOT, MAINE 03903
PHONE: (207)439-6023 FAX: (207)439-2128

SCALE:	APPROVED BY:	DRAWN BY:
1" = 10'		MJS
DATE:	6/6/2025	REVISION DATE:
06/06/24		E : 05/05/25
JOB NO: 24008	FILE: 294 YORK ST BASE.DWG	SHEET: 2



LEGEND

PROPERTY LINE	
SETBACK	
ABUTTER PROP. LINE	
EXT. PAVEMENT	
PRP. PAVEMENT	
EXT. BUILDING	
PRP. BUILDING	
PRP. PARKING	
EXT. STONEWALL	
PRP. OPEN SPACE	
EXT. STOCKADE FENCE	
EXT. OVERHEAD ELEC	OHU
EXT. POWER POLE	
EXT. GUY ANCHOR	
EXT. WATER LINE	W
EXT. WATER VALVE	
EXT. WATER SHUTOFF	
EXT. WATER HYDRANT	
PRP. WATER LINE	W
PRP. WATER VALVE	
PRP. WATER SHUTOFF	
EXT. STORM LINE	D
PRP. STORM LINE	D
EXT. CATCH BASIN	
PRP. CATCH BASIN	
EXT. MAJOR CONTOUR	XXX
EXT. MINOR CONTOUR	
PRP. MAJOR CONTOUR	XXX
PRP. MINOR CONTOUR	XXX
PRP. SPOT GRADE	102.0' x 56.00'

THIS PLAN IS AN AMENDMENT TO REFERENCE PLAN #2 "PROPOSED CONDITIONS PLAN, BRISTOL POINTE #2, TAX MAP 115, LOT 233, 294 YORK STREET, YORK, MAINE" APPROVED BY THE TOWN OF YORK PLANNING BOARD ON JUNE 27, 2023. THE PROPOSED USES ARE TO REMAIN THE SAME, BUT CHANGES OTHERWISE INCLUDE A REVISED BUILDING LOCATION, PARKING AND EGRESS LAYOUT TO UTILIZE MORE OF THE EXISTING CONDITION, AND PROPOSED CHANGES TO ON-SITE STORMWATER MANAGEMENT.

APPROVAL OF THE TOWN OF YORK
PLANNING BOARD

CHAIR _____ DATE 6/17/2025

STATE OF MAINE – YORK COUNTY
ss. REGISTRY OF DEEDS
RECEIVED July 01, 2025
AT 11 h. 21 m. A M, AND RECORDED IN
PLAN BOOK 449, PAGE 89
ATTEST Nancy E. Hammond REGISTER

GRID

GRAPHIC SCALE
0 10 20 30 40 (FEET)

TAX MAP 50, LOT 122

NO.	DESCRIPTION	DATE
	REVISIONS	
E	PRELIM. & FINAL APPROVAL REVISIONS	04/22/25
D	PRELIM. & FINAL APPROVAL REVISIONS	04/04/25
C	PRELIM. & FINAL COMPLETENESS REVISIONS	03/20/25
B	PRELIM. & FINAL COMPLETENESS REVISIONS	01/17/25
A	PRELIMINARY & FINAL SUBMISSION	10/07/24

STATE OF MAINE
KENNETH A. WOOD
No. 5992
LICENSED PROFESSIONAL ENGINEER

AMENDED DEVELOPED CONDITIONS PLAN
CARRIAGE LANDING – BRISTOL POINTE #2
294 YORK STREET, YORK, MAINE

FOR: GRAYSTONE BUILDERS, INC.
C/O WALTER WOODS, 764 U.S. ROUTE 1, SUITE #11
YORK, ME 03909

ATTAR ENGINEERING, INC.
CIVIL ◆ STRUCTURAL ◆ MARINE ◆ SURVEYING
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PHONE: (207)439-6023 FAX: (207)439-2128

SCALE:	APPROVED BY:	DRAWN BY:
1" = 10'		MJS
DATE:	6/10/2025	REVISION DATE:
06/06/24		E : 04/22/25
JOB NO: 24008	FILE: 294 YORK ST BASE.DWG	SHEET: 3

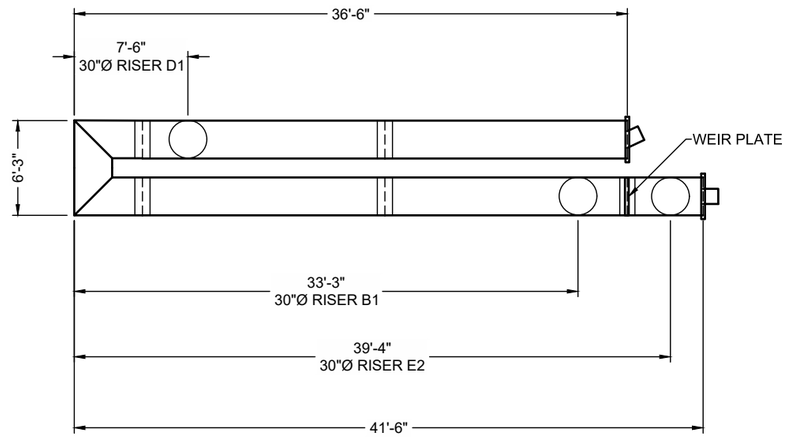
PROJECT SUMMARY

CALCULATION DETAILS
- LOADING = HS20/HS25
- APPROX. LINEAR FOOTAGE = 79 LF

STORAGE SUMMARY
- STORAGE VOLUME REQUIRED = 360 CF
- PIPE STORAGE VOLUME = 389 CF
- BACKFILL STORAGE VOLUME = 0 CF
- TOTAL STORAGE PROVIDED = 389 CF

PIPE DETAILS
- DIAMETER = 30"
- CORRUGATION = 2 2/3x1/2
- GAGE = 16
- COATING = ALT2
- WALL TYPE = SOLID
- BARREL SPACING = 15"

BACKFILL DETAILS
- WIDTH AT ENDS = 12"
- ABOVE PIPE = 0"
- WIDTH AT SIDES = 12"
- BELOW PIPE = 0"



ASSEMBLY
SCALE: 1" = 10'

NOTES

- ALL RISER AND STUB DIMENSIONS ARE TO CENTERLINE. ALL ELEVATIONS, DIMENSIONS, AND LOCATIONS OF RISERS AND INLETS, SHALL BE VERIFIED BY THE ENGINEER OF RECORD PRIOR TO RELEASING FOR FABRICATION.
- ALL FITTINGS AND REINFORCEMENT COMPLY WITH ASTM A998.
- ALL RISERS AND STUBS ARE 2⅔" x ½" CORRUGATION AND 16 GAGE UNLESS OTHERWISE NOTED.
- RISERS TO BE FIELD TRIMMED TO GRADE.
- QUANTITY OF PIPE SHOWN DOES NOT PROVIDE EXTRA PIPE FOR CONNECTING THE SYSTEM TO EXISTING PIPE OR DRAINAGE STRUCTURES. OUR SYSTEM AS DETAILED PROVIDES NOMINAL INLET AND/OR OUTLET PIPE STUB FOR CONNECTION TO EXISTING DRAINAGE FACILITIES. IF ADDITIONAL PIPE IS NEEDED IT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- BAND TYPE TO BE DETERMINED UPON FINAL DESIGN.
- THE PROJECT SUMMARY IS REFLECTIVE OF THE DYODS DESIGN, QUANTITIES ARE APPROX. AND SHOULD BE VERIFIED UPON FINAL DESIGN AND APPROVAL. FOR EXAMPLE, TOTAL EXCAVATION DOES NOT CONSIDER ALL VARIABLES SUCH AS SHORING AND ONLY ACCOUNTS FOR MATERIAL WITHIN THE ESTIMATED EXCAVATION FOOTPRINT.
- THESE DRAWINGS ARE FOR CONCEPTUAL PURPOSES AND DO NOT REFLECT ANY LOCAL PREFERENCES OR REGULATIONS. PLEASE CONTACT YOUR LOCAL CONTECH REP FOR MODIFICATIONS.

DATE	REVISION DESCRIPTION	BY

CONTECH ENGINEERED SOLUTIONS LLC
www.ContechES.com
9025 Centre Pointe Dr., Suite 400, West Chester, OH 45069
800-338-1122 513-645-7000 513-645-7993 FAX

CONTECH CMP DETENTION SYSTEMS
CONTECH **DYODS** DRAWING

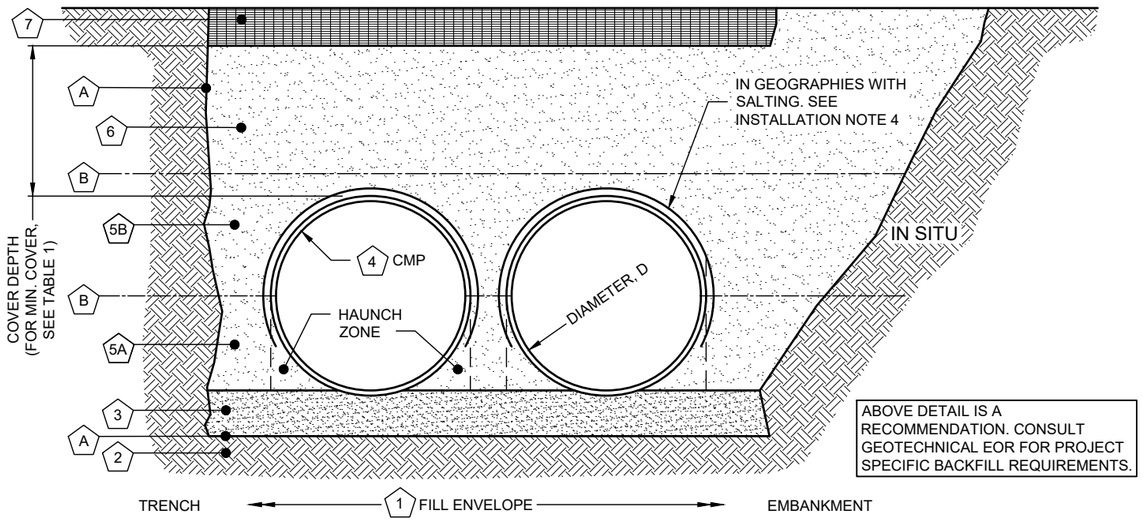
DYO72647 294 YORK STREET
DETENTION SYSTEM
York, ME
DETENTION SYSTEM

PROJECT No.:	SEQ. No.:	DATE:
52241	72647	4/2/2025
DESIGNED: DYO	DRAWN: DYO	
CHECKED: DYO	APPROVED: DYO	
SHEET NO.: 1		

TABLE 1:

DIAMETER, D	MIN. COVER	CORR. PROFILE
6"-10"	12"	1 1/2" x 1/4"
12"-48"	12"	2 2/3" x 1/2"
>48"-96"	12"	3" x 1", 5" x 1"
>96"	D/8	3" x 1", 5" x 1"

- STRUCTURAL BACKFILL MUST EXTEND TO LIMITS OF THE TABLE
- TOTAL HEIGHT OF COMPACTED COVER FOR CONVENTIONAL HIGHWAY LOADS IS MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TOP OF RIGID PAVEMENT
- ULTRAFLO ALSO AVAILABLE FOR SIZES 18" - 120" WITH 3/4"x 3/4"x 7 1/2" CORRUGATION



MINIMUM WIDTH DEPENDS ON SITE CONDITIONS AND ENGINEERING JUDGEMENT

INSTALLATION NOTES

1. WHEN PLACING THE FIRST LIFTS OF BACKFILL IT IS IMPORTANT TO MAKE SURE THAT THE BACKFILL IS PROPERLY COMPACTED UNDER AND AROUND THE PIPE HAUNCHES.
2. OTHER ALTERNATE BACKFILL MATERIAL MAY BE ALLOWED DEPENDING ON SITE SPECIFIC CONDITIONS, AS APPROVED BY SITE ENGINEER.
3. BACKFILL USING CONTROLLED LOW-STRENGTH MATERIAL (CLSM, "FLASH FILL" OR "FLOWABLE FILL") MAY BE USED WHEN THE SPACING BETWEEN THE PIPES WILL NOT ALLOW FOR PLACEMENT AND ADEQUATE COMPACTION OF THE BACKFILL. CONTACT CONTECH FOR FURTHER EVALUATION.
4. IF SALTING AGENTS FOR SNOW AND ICE REMOVAL ARE USED ON OR NEAR THE PROJECT, A GEOMEMBRANE BARRIER IS RECOMMENDED OVER THE UPPER HALF OF THE PIPE. THE GEOMEMBRANE LINER IS INTENDED TO HELP PROTECT THE SYSTEM FROM THE POTENTIAL ADVERSE EFFECTS THAT MAY RESULT FROM A CHANGE IN THE SURROUNDING ENVIRONMENT OVER A PERIOD OF TIME. PLEASE REFER TO THE CORRUGATED METAL PIPE DETENTION DESIGN GUIDE FOR ADDITIONAL INFORMATION.

TABLE 2:

CMP DETENTION AND CMP DRAINAGE STANDARD BACKFILL SPECIFICATIONS

	MATERIAL LOCATION	MATERIAL SPECIFICATION	DESCRIPTION	
1	FILL ENVELOPE WIDTH	PER ENGINEER OF RECORD	MINIMUM TRENCH WIDTH MUST ALLOW ROOM FOR PROPER COMPACTION OF HAUNCH MATERIALS UNDER THE PIPE. THE SUGGESTED MINIMUM TRENCH WIDTH, OR EOR RECOMMENDATION: PIPE ≤ 12": D + 16" PIPE > 12": 1.5D + 12"	MINIMUM EMBANKMENT WIDTH (IN FEET) FOR INITIAL FILL ENVELOPE: PIPE < 24": 3.0D PIPE 24" - 144": D + 4'0" PIPE > 144": D + 10'0"
2	FOUNDATION	**AASHTO 26.5.2** OR PER ENGINEER OF RECORD	PRIOR TO PLACING THE BEDDING, THE FOUNDATION MUST BE CONSTRUCTED TO A UNIFORM AND STABLE GRADE. IN THE EVENT THAT UNSUITABLE FOUNDATION MATERIALS ARE ENCOUNTERED DURING EXCAVATION, THEY SHALL BE REMOVED AND FOUNDATION BROUGHT BACK TO GRADE WITH A FILL MATERIAL APPROVED BY THE ENGINEER OF RECORD.	
3	BEDDING	**AASHTO M 43: 3, 357, 4, 467, 5, 56, 57** (APPROVED REGIONAL EQUIVALENTS INCLUDE CA-7)	ENGINEER OF RECORD TO DETERMINE IF BEDDING IS REQUIRED. PIPE MAY BE PLACED ON THE TRENCH BOTTOM OF A RELATIVELY LOOSE, NATIVE SUITABLE WELL GRADED GRANULAR MATERIAL THAT IS ROUGHLY SHAPED TO FIT THE BOTTOM OF THE PIPE, 2" MIN DEPTH. THE BEDDING MATERIAL MAY BE SUITABLE FOUNDATION SOILS CONFORMING TO AASHTO SOIL CLASSIFICATIONS A1, A2, OR A3 WITH MAXIMUM PARTICLE SIZE OF 3" PER AASHTO 26.3.8.1	
4	CORRUGATED METAL PIPE			
5A	CRITICAL BACKFILL	**AASHTO M 145: A-1, A-2, A-3** *	HAUNCH ZONE MATERIAL SHALL BE HAND SHOVELED OR SHOVEL SLICED INTO PLACE TO ALLOW FOR PROPER COMPACTION WITHOUT SOFT SPOTS. BACKFILL SHALL BE PLACED IN 8" +/- LOOSE LIFTS AND COMPACTED TO 90% STANDARD PROCTOR PER AASHTO T 99. BACKFILL SHALL BE PLACED SUCH THAT THERE IS NO MORE THAN A THREE LIFT (24") DIFFERENTIAL BETWEEN ANY OF THE PIPES AT ANY TIME DURING THE BACKFILL PROCESS. THE BACKFILL SHOULD BE ADVANCED ALONG THE LENGTH OF THE SYSTEM TO AVOID DIFFERENTIAL LOADING. WELL GRADED GRANULAR MATERIAL WHICH MAY CONTAIN SMALL AMOUNTS OF SILT OR CLAY AND MAXIMUM PARTICLE SIZE OF 3" (PER AASHTO 26.3.8.1 AND 12.4-1.3).	
5B	BACKFILL	**AASHTO M 145: A-1, A-2, A-3**		
6	COVER MATERIAL	UP TO MIN. COVER - SEE 5A AND 5B ABOVE ABOVE MIN. COVER - PER ENGINEER OF RECORD	COVER MATERIAL MAY INCLUDE NON-BITUMINOUS, GRANULAR ROAD BASE MATERIAL WITHIN MIN COVER LIMITS	
7	RIGID OR FLEXIBLE PAVEMENT (IF APPLICABLE)	PER ENGINEER OF RECORD	FLEXIBLE PAVEMENT SHOULD NOT BE COUNTED AS PART OF THE FILL HEIGHT OVER THE CMP. FINAL BACKFILL MATERIAL SELECTION AND COMPACTION REQUIREMENTS SHALL FOLLOW THE PROJECT PLANS AND SPECIFICATIONS PER THE ENGINEER OF RECORD.	
A	OPTIONAL SIDE GEOTEXTILE	NONE	GEOTEXTILE LAYER IS RECOMMENDED ON SIDES OF EXCAVATION TO PREVENT SOIL MIGRATION.	
B	OPTIONAL GEOTEXTILE BETWEEN LAYERS	NONE	IF SOIL TYPES DIFFER AT ANY POINT ABOVE PIPE INVERT, A GEOTEXTILE LAYER IS RECOMMENDED TO BE PLACED BETWEEN THE LAYERS TO PREVENT SOIL MIGRATION.	

NOTES:
- FOR MULTIPLE BARREL INSTALLATIONS, THE RECOMMENDED STANDARD SPACING BETWEEN PARALLEL PIPE RUNS SHALL BE THE PIPE DIAMETER /2 BUT NO LESS THAN 12" FOR DIAMETERS <72". FOR 72" AND LARGER DIAMETERS, THE MINIMUM SPACING IS 36". CONTACT YOUR CONTECH REPRESENTATIVE FOR NONSTANDARD SPACING.

* APPROVED REGIONAL EQUIVALENTS FOR SECTION 5A INCLUDE CA-7, CODOT #67, MIDOT 2G, 34G, OR 21AA STONE OR GRAVEL; #8; #57; MIDOT 6A, 2G, 3G, 34G.

MANUFACTURER RECOMMENDED BACKFILL

NOT TO SCALE

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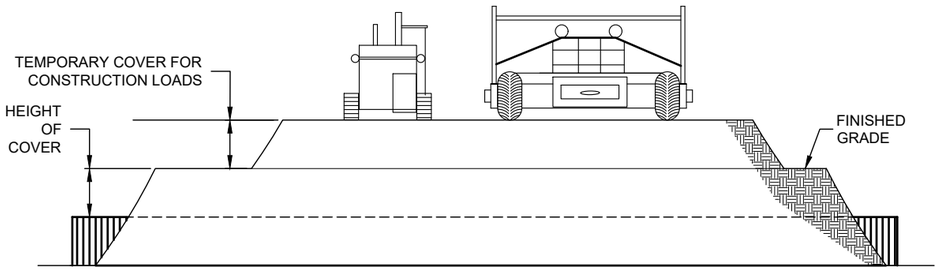
800-338-1122 513-645-7000 513-645-7993 FAX

CONTECH CMP DETENTION SYSTEMS
CONTECH **DYODS** DRAWING

DYO72647 294 YORK STREET
DETENTION SYSTEM
York, ME
DETENTION SYSTEM

PROJECT No.:	SEQ. No.:	DATE:
52241	72647	4/2/2025
DESIGNED: DYO	DRAWN: DYO	
CHECKED: DYO	APPROVED: DYO	
SHEET NO.: 1		



CONSTRUCTION LOADS

FOR TEMPORARY CONSTRUCTION VEHICLE LOADS, AN EXTRA AMOUNT OF COMPACTED COVER MAY BE REQUIRED OVER THE TOP OF THE PIPE. THE HEIGHT-OF-COVER SHALL MEET THE MINIMUM REQUIREMENTS SHOWN IN THE TABLE BELOW. THE USE OF HEAVY CONSTRUCTION EQUIPMENT NECESSITATES GREATER PROTECTION FOR THE PIPE THAN FINISHED GRADE COVER MINIMUMS FOR NORMAL HIGHWAY TRAFFIC.

PIPE SPAN, INCHES	AXLE LOADS (kips)			
	18-50	50-75	75-110	110-150
	MINIMUM COVER (FT)			
12-42	2.0	2.5	3.0	3.0
48-72	3.0	3.0	3.5	4.0
78-120	3.0	3.5	4.0	4.0
126-144	3.5	4.0	4.5	4.5

*MINIMUM COVER MAY VARY, DEPENDING ON LOCAL CONDITIONS. THE CONTRACTOR MUST PROVIDE THE ADDITIONAL COVER REQUIRED TO AVOID DAMAGE TO THE PIPE. MINIMUM COVER IS MEASURED FROM THE TOP OF THE PIPE TO THE TOP OF THE MAINTAINED CONSTRUCTION ROADWAY SURFACE.

CONSTRUCTION LOADING DIAGRAM

SCALE: N.T.S.

SPECIFICATION FOR DESIGNED DETENTION SYSTEM:

SCOPE
THIS SPECIFICATION COVERS THE MANUFACTURE AND INSTALLATION OF THE DESIGNED DETENTION SYSTEM DETAILED IN THE PROJECT PLANS.

MATERIAL
THE MATERIAL SHALL CONFORM TO THE APPLICABLE REQUIREMENTS LISTED BELOW:

ALUMINIZED TYPE 2 STEEL COILS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF AASHTO M-274 OR ASTM A-92.

THE GALVANIZED STEEL COILS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF AASHTO M-218 OR ASTM A-929.

THE POLYMER COATED STEEL COILS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF AASHTO M-246 OR ASTM A-742.

THE ALUMINUM COILS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF AASHTO M-197 OR ASTM B-744.

CONSTRUCTION LOADS
CONSTRUCTION LOADS MAY BE HIGHER THAN FINAL LOADS. FOLLOW THE MANUFACTURER'S OR NCSPA GUIDELINES.

NOTE:
THESE DRAWINGS ARE FOR CONCEPTUAL PURPOSES AND DO NOT REFLECT ANY LOCAL PREFERENCES OR REGULATIONS. PLEASE CONTACT YOUR LOCAL CONTECH REP FOR MODIFICATIONS.

PIPE
THE PIPE SHALL BE MANUFACTURED IN ACCORDANCE TO THE APPLICABLE REQUIREMENTS LISTED BELOW:

ALUMINIZED TYPE 2: AASHTO M-36 OR ASTM A-760

GALVANIZED: AASHTO M-36 OR ASTM A-760

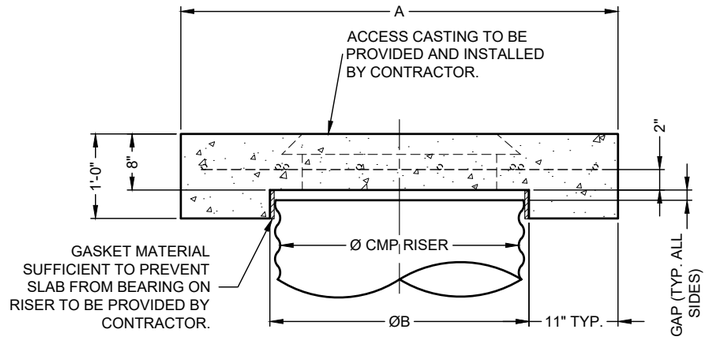
POLYMER COATED: AASHTO M-245 OR ASTM A-762

ALUMINUM: AASHTO M-196 OR ASTM B-745

HANDLING AND ASSEMBLY
SHALL BE IN ACCORDANCE WITH NCSP'S (NATIONAL CORRUGATED STEEL PIPE ASSOCIATION) FOR ALUMINIZED TYPE 2, GALVANIZED OR POLYMER COATED STEEL. SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR ALUMINUM PIPE.

INSTALLATION
SHALL BE IN ACCORDANCE WITH AASHTO STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES, SECTION 26, DIVISION II DIVISION II OR ASTM A-798 (FOR ALUMINIZED TYPE 2, GALVANIZED OR POLYMER COATED STEEL) OR ASTM B-788 (FOR ALUMINUM PIPE) AND IN CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS. IF THERE ARE ANY INCONSISTENCIES OR CONFLICTS THE CONTRACTOR SHOULD DISCUSS AND RESOLVE WITH THE SITE ENGINEER.

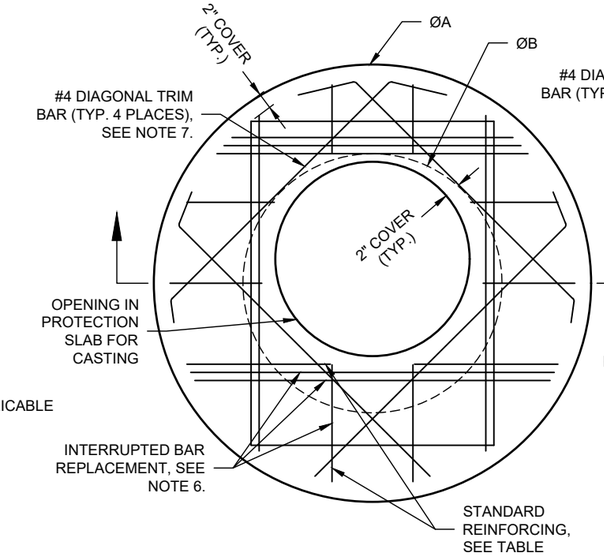
IT IS ALWAYS THE RESPONSIBILITY OF THE CONTRACTOR TO FOLLOW OSHA GUIDELINES FOR SAFE PRACTICES.



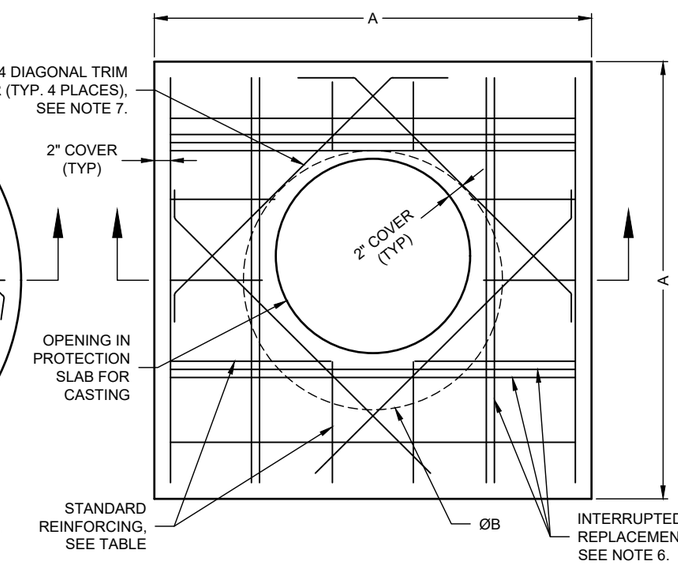
SECTION VIEW

REINFORCING TABLE				
Ø CMP RISER	A	Ø B	REINFORCING	**BEARING PRESSURE (PSF)
24"	Ø 4' 4'X4'	26"	#5 @ 12" OCEW #5 @ 12" OCEW	2,410 1,780
30"	Ø 4'-6" 4'-6" X 4'-6"	32"	#5 @ 12" OCEW #5 @ 12" OCEW	2,120 1,530
36"	Ø 5' 5' X 5'	38"	#5 @ 10" OCEW #5 @ 10" OCEW	1,890 1,350
42"	Ø 5'-6" 5'-6" X 5'-6"	44"	#5 @ 10" OCEW #5 @ 9" OCEW	1,720 1,210
48"	Ø 6' 6' X 6'	50"	#5 @ 9" OCEW #5 @ 8" OCEW	1,600 1,100

** ASSUMED SOIL BEARING CAPACITY



ROUND OPTION PLAN VIEW



SQUARE OPTION PLAN VIEW

NOTES:

1. DESIGN IN ACCORDANCE WITH AASHTO, 17th EDITION.
2. DESIGN LOAD HS25.
3. EARTH COVER = 1' MAX.
4. CONCRETE STRENGTH = 3,500 psi
5. REINFORCING STEEL = ASTM A615, GRADE 60.
6. PROVIDE ADDITIONAL REINFORCING AROUND OPENINGS EQUAL TO THE BARS INTERRUPTED, HALF EACH SIDE. ADDITIONAL BARS TO BE IN THE SAME PLANE.
7. TRIM OPENING WITH DIAGONAL #4 BARS, EXTEND BARS A MINIMUM OF 12" BEYOND OPENING, BEND BARS AS REQUIRED TO MAINTAIN BAR COVER.
8. PROTECTION SLAB AND ALL MATERIALS TO BE PROVIDED AND INSTALLED BY CONTRACTOR.
9. DETAIL DESIGN BY DELTA ENGINEERING, BINGHAMTON, NY.

MANHOLE CAP DETAIL

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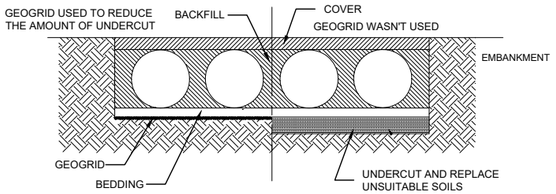
CMP DETENTION INSTALLATION GUIDE

PROPER INSTALLATION OF A FLEXIBLE UNDERGROUND DETENTION SYSTEM WILL ENSURE LONG-TERM PERFORMANCE. THE CONFIGURATION OF THESE SYSTEMS OFTEN REQUIRES SPECIAL CONSTRUCTION PRACTICES THAT DIFFER FROM CONVENTIONAL FLEXIBLE PIPE CONSTRUCTION. CONTECH ENGINEERED SOLUTIONS STRONGLY SUGGESTS SCHEDULING A PRE-CONSTRUCTION MEETING WITH YOUR LOCAL SALES ENGINEER TO DETERMINE IF ADDITIONAL MEASURES, NOT COVERED IN THIS GUIDE, ARE APPROPRIATE FOR YOUR SITE.

FOUNDATION

CONSTRUCT A FOUNDATION THAT CAN SUPPORT THE DESIGN LOADING APPLIED BY THE PIPE AND ADJACENT BACKFILL WEIGHT AS WELL AS MAINTAIN ITS INTEGRITY DURING CONSTRUCTION.

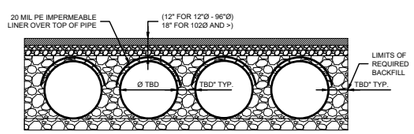
IF SOFT OR UNSUITABLE SOILS ARE ENCOUNTERED, REMOVE THE POOR SOILS DOWN TO A SUITABLE DEPTH AND THEN BUILD UP TO THE APPROPRIATE ELEVATION WITH A COMPETENT BACKFILL MATERIAL. THE STRUCTURAL FILL MATERIAL GRADATION SHOULD NOT ALLOW THE MIGRATION OF FINES, WHICH CAN CAUSE SETTLEMENT OF THE DETENTION SYSTEM OR PAVEMENT ABOVE. IF THE STRUCTURAL FILL MATERIAL IS NOT COMPATIBLE WITH THE UNDERLYING SOILS AN ENGINEERING FABRIC SHOULD BE USED AS A SEPARATOR. IN SOME CASES, USING A STIFF REINFORCING GEOGRID REDUCES OVER EXCAVATION AND REPLACEMENT FILL QUANTITIES.



GRADE THE FOUNDATION SUBGRADE TO A UNIFORM OR SLIGHTLY SLOPING GRADE. IF THE SUBGRADE IS CLAY OR RELATIVELY NON-POROUS AND THE CONSTRUCTION SEQUENCE WILL LAST FOR AN EXTENDED PERIOD OF TIME, IT IS BEST TO SLOPE THE GRADE TO ONE END OF THE SYSTEM. THIS WILL ALLOW EXCESS WATER TO DRAIN QUICKLY, PREVENTING SATURATION OF THE SUBGRADE.

GEOMEMBRANE BARRIER

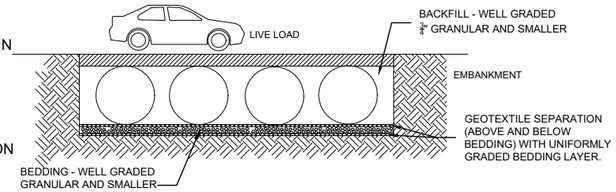
THE RESISTIVITY OF A PROJECT SITE MAY CHANGE OVER TIME DUE TO THE USE OF VARIOUS SALTING, DE-ICING, AND AGRICULTURAL AGENTS APPLIED ON OR NEAR THE AREA. TO MITIGATE THE POTENTIAL IMPACT OF THESE AGENTS, AN HDPE MEMBRANE LINER WILL BE INSTALLED ON THE CROWN OF EACH PIPE, CREATING AN IMPERMEABLE BARRIER. THIS MEASURE IS DESIGNED TO PROTECT THE SYSTEM FROM ENVIRONMENTAL CHANGES THAT COULD LEAD TO PREMATURE CORROSION AND REDUCE THE OVERALL SERVICE LIFE.



IN-SITU TRENCH WALL

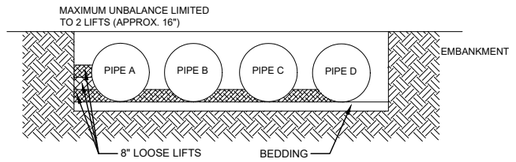
IF EXCAVATION IS REQUIRED, THE TRENCH WALL NEEDS TO BE CAPABLE OF SUPPORTING THE LOAD THAT THE PIPE SHEDS AS THE SYSTEM IS LOADED. IF SOILS ARE NOT CAPABLE OF SUPPORTING THESE LOADS, THE PIPE CAN DEFLECT. PERFORM A SIMPLE SOIL PRESSURE CHECK USING THE APPLIED LOADS TO DETERMINE THE LIMITS OF EXCAVATION BEYOND THE SPRING LINE OF THE OUTER MOST PIPES.

IN MOST CASES THE REQUIREMENTS FOR A SAFE WORK ENVIRONMENT AND PROPER BACKFILL PLACEMENT AND COMPACTION TAKE CARE OF THIS CONCERN.



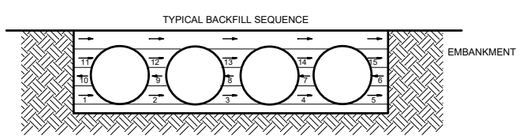
BACKFILL PLACEMENT

MATERIAL SHALL BE WORKED INTO THE PIPE HAUNCHES BY MEANS OF SHOVEL-SLICING, RODDING, AIR TAMPER, VIBRATORY ROD, OR OTHER EFFECTIVE METHODS.

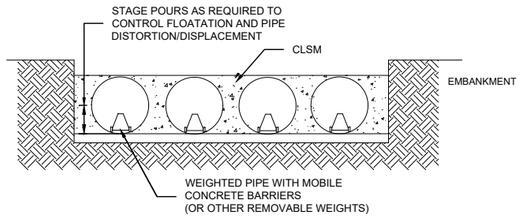


IF AASHTO T99 PROCEDURES ARE DETERMINED INFEASIBLE BY THE GEOTECHNICAL ENGINEER OF RECORD, COMPACTION IS CONSIDERED ADEQUATE WHEN NO FURTHER YIELDING OF THE MATERIAL IS OBSERVED UNDER THE COMPACTOR, OR UNDER FOOT, AND THE GEOTECHNICAL ENGINEER OF RECORD (OR REPRESENTATIVE THEREOF) IS SATISFIED WITH THE LEVEL OF COMPACTION.

FOR LARGE SYSTEMS, CONVEYOR SYSTEMS, BACKHOES WITH LONG REACHES OR DRAGLINES WITH STONE BUCKETS MAY BE USED TO PLACE BACKFILL. ONCE MINIMUM COVER FOR CONSTRUCTION LOADING ACROSS THE ENTIRE WIDTH OF THE SYSTEM IS REACHED, ADVANCE THE EQUIPMENT TO THE END OF THE RECENTLY PLACED FILL, AND BEGIN THE SEQUENCE AGAIN UNTIL THE SYSTEM IS COMPLETELY BACKFILLED. THIS TYPE OF CONSTRUCTION SEQUENCE PROVIDES ROOM FOR STOCKPILED BACKFILL DIRECTLY BEHIND THE BACKHOE, AS WELL AS THE MOVEMENT OF CONSTRUCTION TRAFFIC. MATERIAL STOCKPILES ON TOP OF THE BACKFILLED DETENTION SYSTEM SHOULD BE LIMITED TO 8- TO 10-FEET HIGH AND MUST PROVIDE BALANCED LOADING ACROSS ALL BARRELS. TO DETERMINE THE PROPER COVER OVER THE PIPES TO ALLOW THE MOVEMENT OF CONSTRUCTION EQUIPMENT SEE TABLE 1, OR CONTACT YOUR LOCAL CONTECH SALES ENGINEER.



WHEN FLOWABLE FILL IS USED, YOU MUST PREVENT PIPE FLOATATION. TYPICALLY, SMALL LIFTS ARE PLACED BETWEEN THE PIPES AND THEN ALLOWED TO SET-UP PRIOR TO THE PLACEMENT OF THE NEXT LIFT. THE ALLOWABLE THICKNESS OF THE CLSM LIFT IS A FUNCTION OF A PROPER BALANCE BETWEEN THE UPLIFT FORCE OF THE CLSM, THE OPPOSING WEIGHT OF THE PIPE, AND THE EFFECT OF OTHER RESTRAINING MEASURES. THE PIPE CAN CARRY LIMITED FLUID PRESSURE WITHOUT PIPE DISTORTION OR DISPLACEMENT, WHICH ALSO AFFECTS THE CLSM LIFT THICKNESS. YOUR LOCAL CONTECH SALES ENGINEER CAN HELP DETERMINE THE PROPER LIFT THICKNESS.

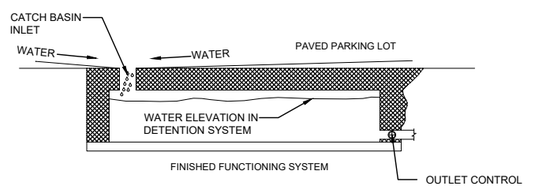


CONSTRUCTION LOADING

TYPICALLY, THE MINIMUM COVER SPECIFIED FOR A PROJECT ASSUMES H-20 LIVE LOAD. BECAUSE CONSTRUCTION LOADS OFTEN EXCEED DESIGN LIVE LOADS, INCREASED TEMPORARY MINIMUM COVER REQUIREMENTS ARE NECESSARY. SINCE CONSTRUCTION EQUIPMENT VARIES FROM JOB TO JOB, IT IS BEST TO ADDRESS EQUIPMENT SPECIFIC MINIMUM COVER REQUIREMENTS WITH YOUR LOCAL CONTECH SALES ENGINEER DURING YOUR PRE-CONSTRUCTION MEETING.

ADDITIONAL CONSIDERATIONS

BECAUSE MOST SYSTEMS ARE CONSTRUCTED BELOW-GRADE, RAINFALL CAN RAPIDLY FILL THE EXCAVATION; POTENTIALLY CAUSING FLOATATION AND MOVEMENT OF THE PREVIOUSLY PLACED PIPES. TO HELP MITIGATE POTENTIAL PROBLEMS, IT IS BEST TO START THE INSTALLATION AT THE DOWNSTREAM END WITH THE OUTLET ALREADY CONSTRUCTED TO ALLOW A ROUTE FOR THE WATER TO ESCAPE. TEMPORARY DIVERSION MEASURES MAY BE REQUIRED FOR HIGH FLOWS DUE TO THE RESTRICTED NATURE OF THE OUTLET PIPE.



CMP DETENTION SYSTEM INSPECTION AND MAINTENANCE

UNDERGROUND STORMWATER DETENTION AND INFILTRATION SYSTEMS MUST BE INSPECTED AND MAINTAINED AT REGULAR INTERVALS FOR PURPOSES OF PERFORMANCE AND LONGEVITY.

INSPECTION

INSPECTION IS THE KEY TO EFFECTIVE MAINTENANCE OF CMP DETENTION SYSTEMS AND IS EASILY PERFORMED. CONTECH RECOMMENDS ONGOING, ANNUAL INSPECTIONS. SITES WITH HIGH TRASH LOAD OR SMALL OUTLET CONTROL ORIFICES MAY NEED MORE FREQUENT INSPECTIONS. THE RATE AT WHICH THE SYSTEM COLLECTS POLLUTANTS WILL DEPEND MORE ON SITE SPECIFIC ACTIVITIES RATHER THAN THE SIZE OR CONFIGURATION OF THE SYSTEM.

INSPECTIONS SHOULD BE PERFORMED MORE OFTEN IN EQUIPMENT WASHDOWN AREAS, IN CLIMATES WHERE SANDING AND/OR SALTING OPERATIONS TAKE PLACE, AND IN OTHER VARIOUS INSTANCES IN WHICH ONE WOULD EXPECT HIGHER ACCUMULATIONS OF SEDIMENT OR ABRASIVE/ CORROSIVE CONDITIONS. A RECORD OF EACH INSPECTION IS TO BE MAINTAINED FOR THE LIFE OF THE SYSTEM

MAINTENANCE

CMP DETENTION SYSTEMS SHOULD BE CLEANED WHEN AN INSPECTION REVEALS ACCUMULATED SEDIMENT OR TRASH IS CLOGGING THE DISCHARGE ORIFICE.

ACCUMULATED SEDIMENT AND TRASH CAN TYPICALLY BE EVACUATED THROUGH THE MANHOLE OVER THE OUTLET ORIFICE. IF MAINTENANCE IS NOT PERFORMED AS RECOMMENDED, SEDIMENT AND TRASH MAY ACCUMULATE IN FRONT OF THE OUTLET ORIFICE. MANHOLE COVERS SHOULD BE SECURELY SEATED FOLLOWING CLEANING ACTIVITIES. CONTECH SUGGESTS THAT ALL SYSTEMS BE DESIGNED WITH AN ACCESS/INSPECTION MANHOLE SITUATED AT OR NEAR THE INLET AND THE OUTLET ORIFICE. SHOULD IT BE NECESSARY TO GET INSIDE THE SYSTEM TO PERFORM MAINTENANCE ACTIVITIES, ALL APPROPRIATE PRECAUTIONS REGARDING CONFINED SPACE ENTRY AND OSHA REGULATIONS SHOULD BE FOLLOWED.

ANNUAL INSPECTIONS ARE BEST PRACTICE FOR ALL UNDERGROUND SYSTEMS. DURING THIS INSPECTION, IF EVIDENCE OF SALTING/DE-ICING AGENTS IS OBSERVED WITHIN THE SYSTEM, IT IS BEST PRACTICE FOR THE SYSTEM TO BE RINSED, INCLUDING ABOVE THE SPRING LINE SOON AFTER THE SPRING THAW AS PART OF THE MAINTENANCE PROGRAM FOR THE SYSTEM.

MAINTAINING AN UNDERGROUND DETENTION OR INFILTRATION SYSTEM IS EASIEST WHEN THERE IS NO FLOW ENTERING THE SYSTEM. FOR THIS REASON, IT IS A GOOD IDEA TO SCHEDULE THE CLEANOUT DURING DRY WEATHER.

THE FOREGOING INSPECTION AND MAINTENANCE EFFORTS HELP ENSURE UNDERGROUND PIPE SYSTEMS USED FOR STORMWATER STORAGE CONTINUE TO FUNCTION AS INTENDED BY IDENTIFYING RECOMMENDED REGULAR INSPECTION AND MAINTENANCE PRACTICES. INSPECTION AND MAINTENANCE RELATED TO THE STRUCTURAL INTEGRITY OF THE PIPE OR THE SOUNDNESS OF PIPE JOINT CONNECTIONS IS BEYOND THE SCOPE OF THIS GUIDE.

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