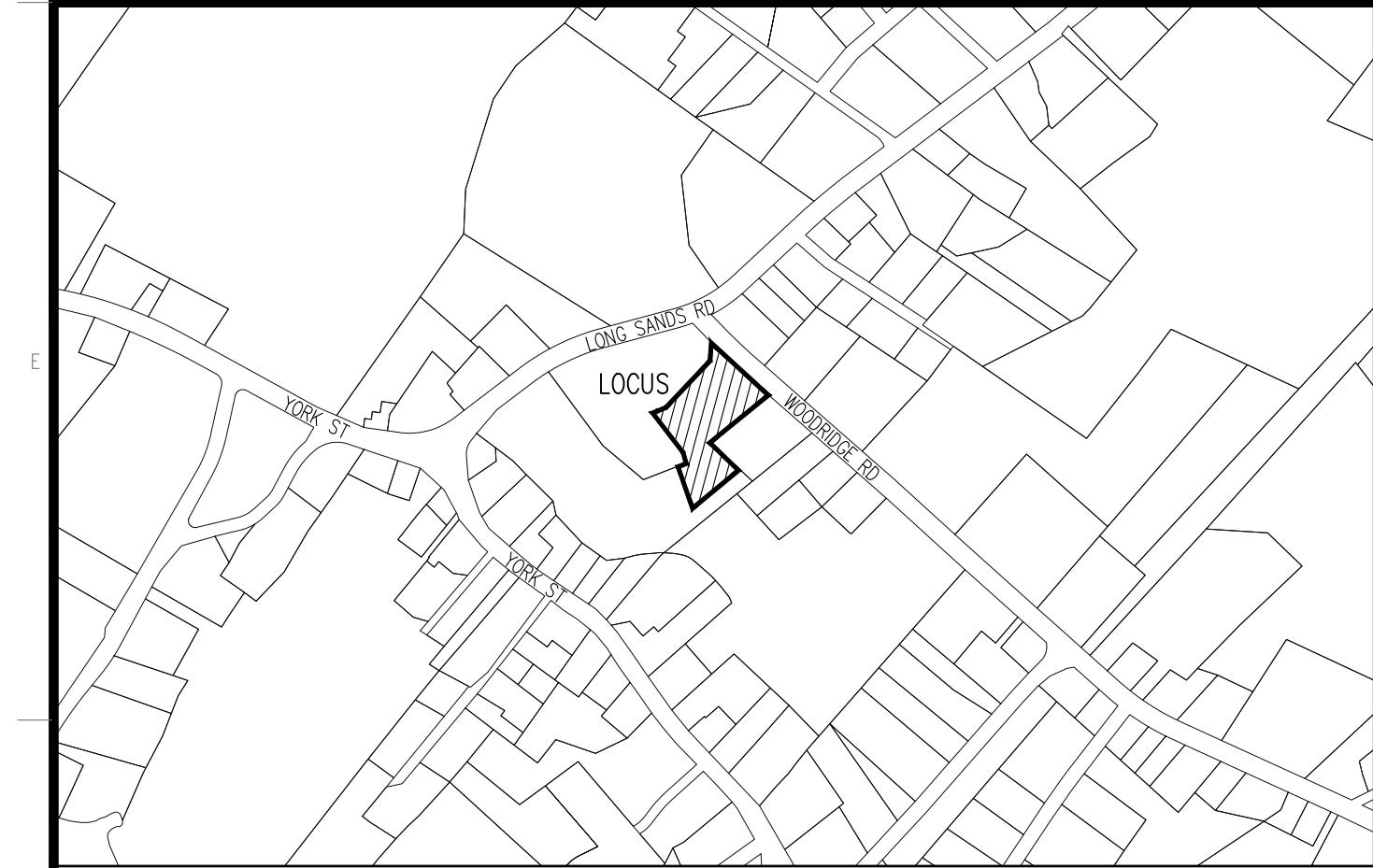
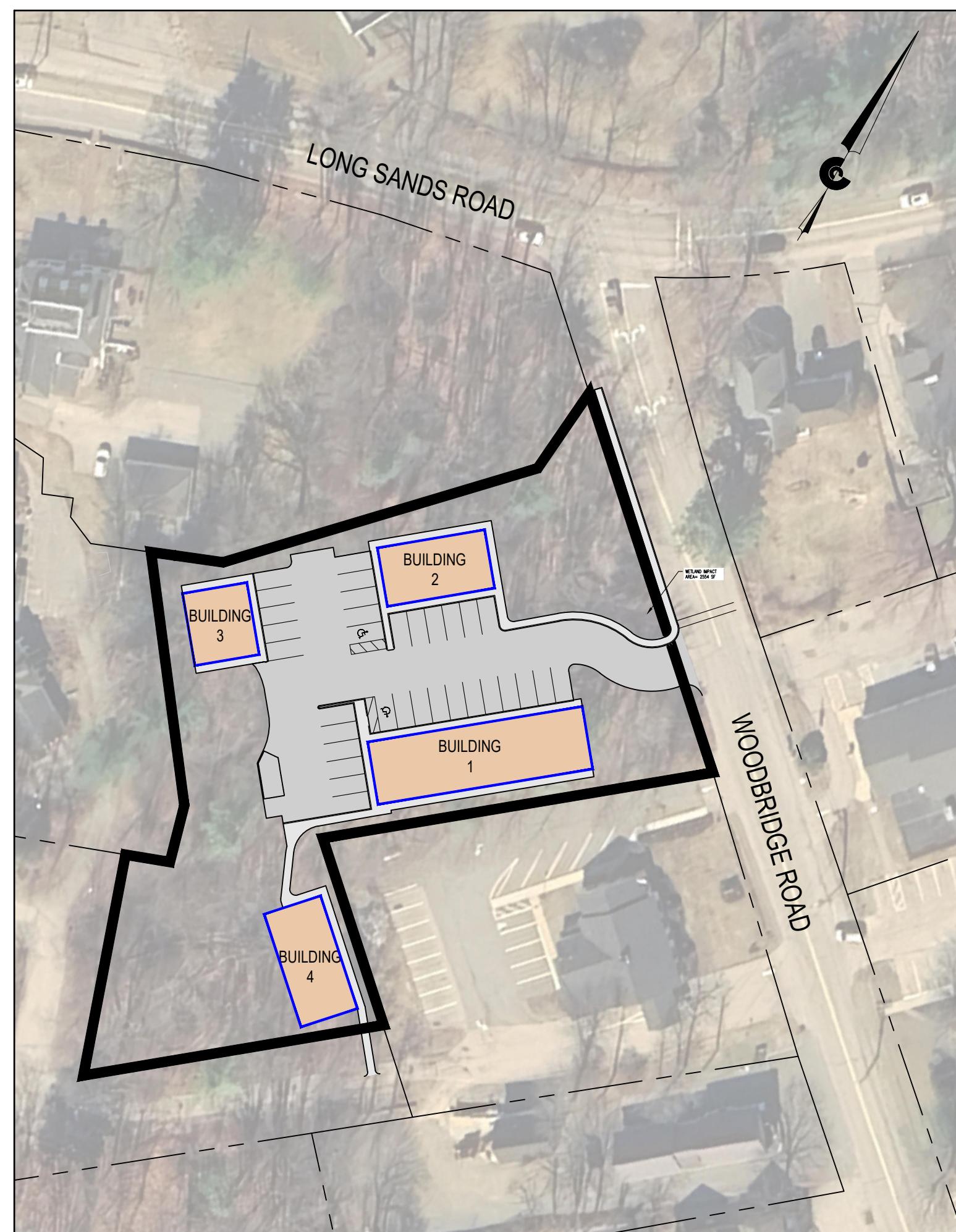


# WOODBRIDGE COMMONS WOODBRIDGE ROAD YORK, MAINE MULTI-USE DEVELOPMENT TAX MAP50, LOT 111-D



LOCATION PLAN  
(NOT TO SCALE)



AERIAL SITE PLAN  
SCALE: 1"=60'



## PROJECT SCOPE:

THIS PROJECT PROPOSES THE DEVELOPMENT OF A 1.22-ACRE PARCEL AT 7 WOODBRIDGE ROAD INTO A MIXED-USE SITE FEATURING FOUR TWO-STORY BUILDINGS WITH 14 UPPER-LEVEL RESIDENTIAL UNITS AND GROUND-FLOOR COMMERCIAL SPACE SUITABLE FOR PROFESSIONAL OFFICE OR RETAIL USE.

PREPARED FOR:  
**JMP REALTY, LLC**

SHEET NUMBER	SHEET TITLE
EC1	KIMBALL BOUNDARY SURVEY
L1	EXISTING CONDITIONS PLAN
L2	SITE PLAN
L3	GRADING AND EROSION CONTROL PLAN
L4	BUILDING ELEVATION PLAN
L5	SUBSURFACE DRAIN LAYOUT
L6	WATER / SEWER DETAILS
L7	CONSTRUCTION DETAILS
L8	CONSTRUCTION DETAILS
	Maintenance Notes

PREPARED FOR:  
PRELIMINARY  
APPROVAL  
NOT FOR  
CONSTRUCTION  
12/22/2025

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P.O. Box 100  
South Berwick  
Maine  
03905  
207-384-2550  
www.civcon.com

REVISIONS	INT.	DATE
1	NO.	12/22/2025

RECORD OWNER: S. THOMPSON VIELE FAMILY TRUST OWNER ADDRESS: KITTERY POINT, ME 03905	LAND OF VIELE FAMILY TRUST
1	NO.

<b>SITE PLAN MIXED-USE DEVELOPMENT LAND OF VIELE FAMILY TRUST 7 WOODBRIDGE ROAD, YORK, YORK COUNTY, MAINE</b>	PREPARED FOR: JMP REALTY, LLC
	40 GODFREY COVE ROAD, YORK, ME 03909

 1"=60' 0' 60'	1"=60' 0' 60'
	DATE: 12/22/2025 DRAWN BY: NJR/LTE CHECKED BY: GRA APPROVED BY:

<b>COVER SHEET</b>
PROJECT NO: 2512000

**T1**

TAX MAP NO. 50 LOT NO. 0111D

Sheet: 1 of 1



REARED FOR:  
RELIMINARY  
APPROVAL  
NOT FOR  
CONSTRUCTION  
2/22/2025

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1  
NO.

RECORD OWNER: S. THOMPSON  
FAMILY TRUST  
JOHN E. VIELE  
OWNER ADDRESS: 225 MILLER ROAD  
KITTERY POINT

**SITE PLAN  
MIXED-USE DEVELOPMENT  
LAND OF VIELE FAMILY TRUST  
RIDGE ROAD, YORK, YORK**

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## 7 WOODB CLIENT ADDRESS:

# EXISTING CONDITIONS

PROJECT NO: 2512000

HEET: 1 OF 1

HEET: 1 OF 1

8

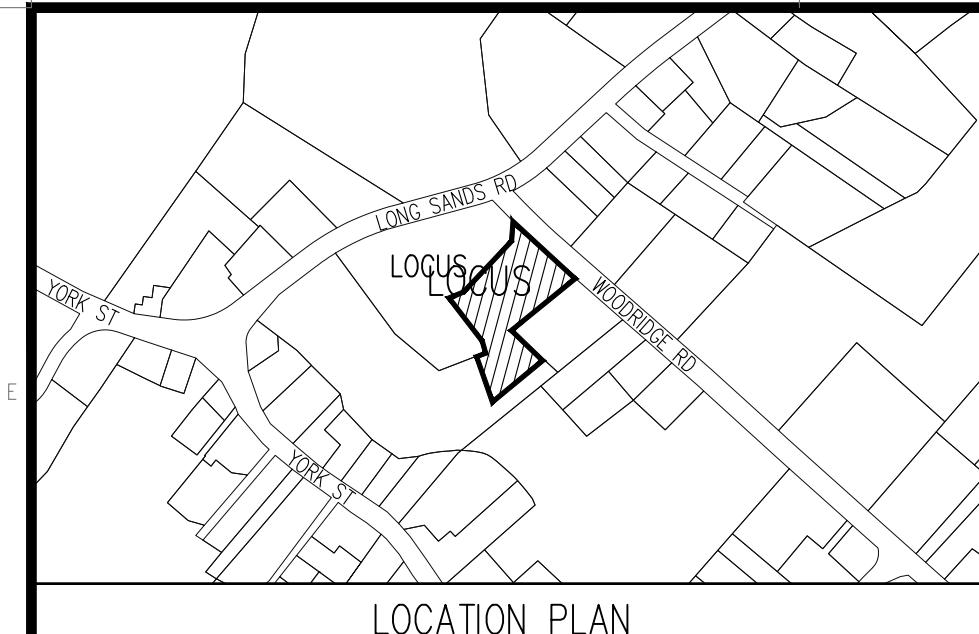
## LOCATION PLAN

**NOTES:**

1. ASSESSOR'S INFORMATION:  
TOWN OF YORK ASSESSOR'S MAP 50 LOT 0111D
2. RECORD OWNER:  
JMP REALTY, LLC  
40 GODFREY COVE ROAD,  
YORK, ME 03909
3. DEED REFERENCE:  
Y.C.R.D. 19601/147
4. ZONING INFORMATION:  
YVC-1 ZONE W/ PUBLIC WATER AND SEWER  
LOT SIZE: 53,238 S.F.  
  
MINIMUM FRONTAGE: 0'  
SETBACKS:  
FRONT YARD: N/A'  
MAX FRONT YARD 15'  
SIDE YARD: 6'  
REAR YARD: 6'  
MAXIMUM BUILDING HEIGHT: 35'  
MAXIMUM LOT COVERAGE: 75%
5. THE PARCEL IS LOCATED IN FLOOD HAZARD ZONE X  
RATE MAP FOR THE TOWN OF YORK, COMMUNITY PA  
07/17/2024. FLOOD HAZARD ZONE X IS DEFINE AS
6. LOCUS PARCEL CONTAINS 1.22 ACRES MORE OR LESS
7. UNDERGROUND UTILITIES SHOWN HEREON ARE APPRO  
CONTRACTOR SHALL CONTACT DIGSAFE (1-888-344-  
UTILITIES.
8. THE WETLAND DELINEATIONS SHOWN WERE CONDUCTED

5  
COORDINATE FILE: J:\AAA\JOB NO\CARLSON\SURVEYING\

CADD FILE: J:\aaa\2025\2512000\CARLSON\ENGR\DWG\2512000E.dwg



PLAN PURPOSE:

THIS PLAN OUTLINES THE PROPOSED DEVELOPMENT OF FOUR MIXED-USE BUILDINGS, TOTALING 8,190 SF IN FOOTPRINT. EACH BUILDING WILL FEATURE GROUND-FLOOR COMMERCIAL SPACES AND UPPER-FLOOR RESIDENTIAL UNITS, COMPRISING FOURTEEN (14) TWO-BEDROOM UNITS IN TOTAL. THE PROJECT ALSO INCLUDES ASSOCIATED ACCESSWAYS, UTILITIES, AND SIDEWALKS, AS DETAILED IN THE SITE PLAN.

NOTES:

- ASSESSOR'S INFORMATION:  
TOWN OF YORK ASSESSOR'S MAP 50 LOT 011D
- RECORD OWNER:  
JMP REALTY, LLC  
40 GODFREY COVE ROAD,  
YORK, ME 03909
- DEED REFERENCE:  
Y.C.R.D. 19601/147
- ZONING INFORMATION:  
YVC-1 ZONE W/ PUBLIC WATER AND SEWER  
LOT SIZE: 53,238 SF.  
MINIMUM FRONTAGE: 0'  
SETBACKS:  
FRONT YARD: N/A'  
MAX FRONT YARD: 15'  
SIDE YARD: 6'  
REAR YARD: 6'  
MAXIMUM BUILDING HEIGHT: 35'  
MAXIMUM LOT COVERAGE: 75%
- THE PARCEL IS LOCATED IN FLOOD HAZARD ZONE X AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF YORK, COMMUNITY PANEL NO 23031C06696, EFFECTIVE DATE 07/17/2024. FLOOD HAZARD ZONE X IS DEFINE AS "AREA OF MINIMAL FLOOD HAZARD".
- LOCUS PARCEL CONTAINS 1.22 ACRES MORE OR LESS.
- UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL CONTACT DIGSAFE (1-888-344-7233) FOR LOCATION OF ALL EXISTING UTILITIES.
- THE WETLAND DELINEATIONS SHOWN WERE CONDUCTED IN JULY 2023 BY MAINELY SOILS LLC.

PROJECT NOTES:

- TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING TREES ON THE PROPERTY THAT HAVE A DIAMETER OF 24 INCHES AT BREAST HEIGHT NOR ANY LEDGE OUTCROPPINGS.
- 1,990 SF OF WETLAND IMPACT IS PROPOSED TO ESTABLISH THE REQUIRED CONNECTION TO WOODBRIDGE ROAD. IMPACT IS DELINEATED ON PLAN, NO FURTHER WETLAND WILL BE IMPACTED.

LOT COVERAGE:

- SOILS: PER SCS SOIL MAP, SOILS ARE EITHER SOMEWHAT EXCESSIVELY DRAINED OR WELL DRAINED. BOTH CONDITIONS ARE CONSIDERED 100% CONTRIBUTORY TOWARD THE CALCULATION OF NET BUILDABLE SITE AREA.
- LOT AREA: 53,238 SF
- WETLANDS ON SITE: 18,919 SF
- NET BUILDABLE SITE AREA: 34,339 SF
- TOTAL IMPERVIOUS ON SITE: 24,127 SF

LOT COVERAGE: 70.26%

**LEGEND:**

6897/327	DEED VOLUME / PAGE NUMBER
N/F	NOW OR FORMERLY
REF.	REFERENCE
S.F.	SQUARE FEET
Y.C.R.D.	YORK COUNTY REGISTRY OF DEEDS
CONC.	CONCRETE
✓	UTILITY POLE
DHU	OVERHEAD WIRES
DMA	STORM WATER MANHOLE
✓	FOUND SURVEY MONUMENT
✓	SEWER MANHOLE
✓	SEWER PUMP STATION
✓	HYDRANT
✓	SIGN
✓	WATER GATE VALVE
✓	SPOT ELEVATION
✓	MAILBOX
✓	GUY WIRE
✓	LOCUS BOUNDARY LINE
✓	APPROXIMATE ADJOINING BOUNDARY LINE
✓	WETLAND/VERNAL POOL SETBACK
✓	PERVIOUS ASPHALT
✓	MAINE STATE PLANE COORDINATES
✓	WETLAND IMPACT
✓	WETLAND

APPROVAL OF THE PLANNING BOARD, YORK, MAINE

DATE:

SIGNATURES OF 3 OR MORE PLANNING BOARD MEMBERS INDICATE APPROVAL OF THIS PLAN

UTILITY DISTRICT APPROVALS

YORK SEWER DISTRICT

YORK WATER DISTRICT

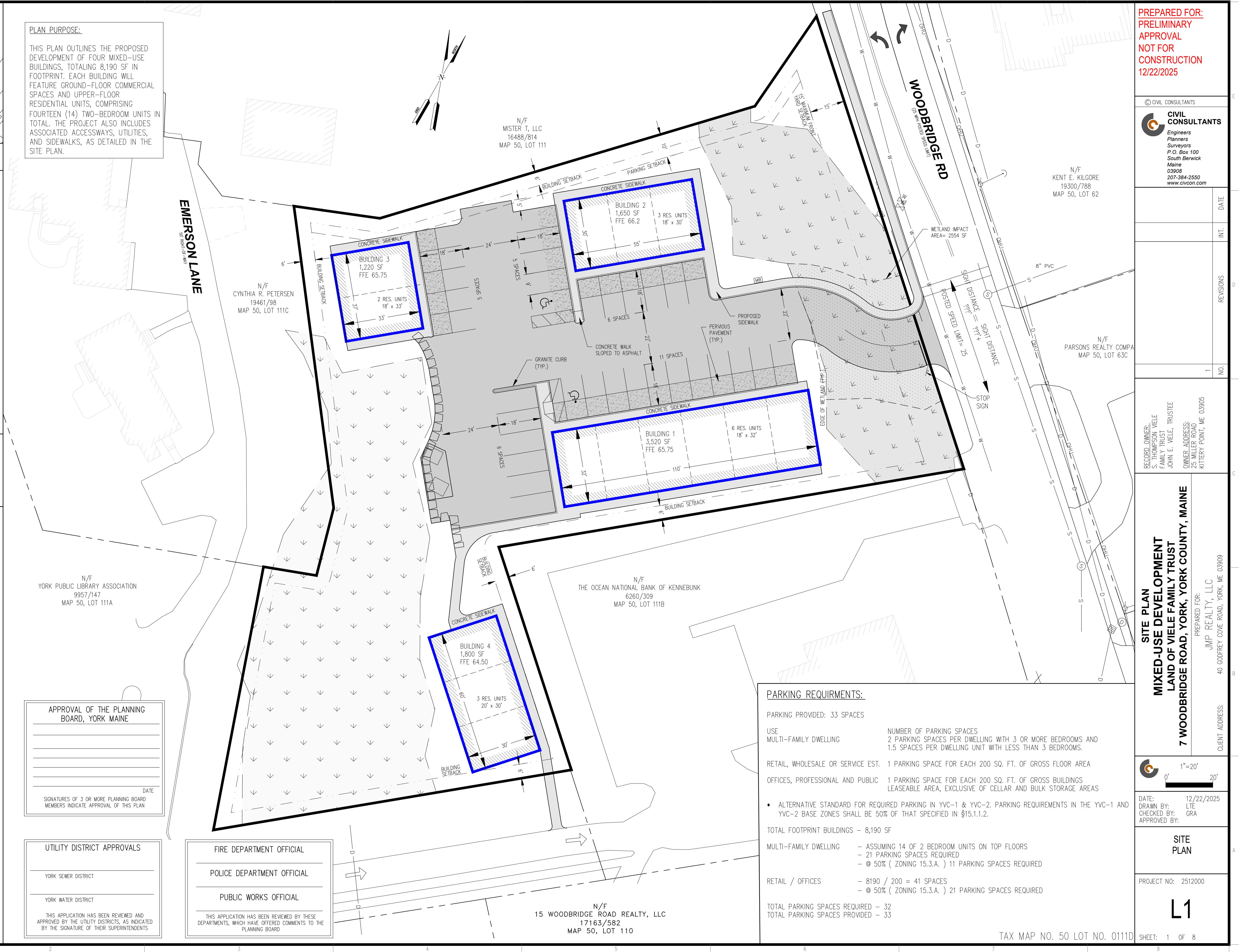
THIS APPLICATION HAS BEEN REVIEWED AND APPROVED BY THE UTILITY DISTRICTS, AS INDICATED BY THE SIGNATURES OF THEIR SUPERINTENDENTS

FIRE DEPARTMENT OFFICIAL

POLICE DEPARTMENT OFFICIAL

PUBLIC WORKS OFFICIAL

THIS APPLICATION HAS BEEN REVIEWED BY THESE DEPARTMENTS, WHICH HAVE OFFERED COMMENTS TO THE PLANNING BOARD



**PARKING REQUIREMENTS:**

PARKING PROVIDED: 33 SPACES

USE  
MULTI-FAMILY DWELLING

NUMBER OF PARKING SPACES  
2 PARKING SPACES PER DWELLING WITH 3 OR MORE BEDROOMS AND  
1.5 SPACES PER DWELLING UNIT WITH LESS THAN 3 BEDROOMS.

RETAIL, WHOLESALE OR SERVICE EST. 1 PARKING SPACE FOR EACH 200 SQ. FT. OF GROSS FLOOR AREA

OFFICES, PROFESSIONAL AND PUBLIC 1 PARKING SPACE FOR EACH 200 SQ. FT. OF GROSS BUILDINGS  
LEASEABLE AREA, EXCLUSIVE OF CELLAR AND BULK STORAGE AREAS

- ALTERNATIVE STANDARD FOR REQUIRED PARKING IN YVC-1 & YVC-2 BASE ZONES SHALL BE 50% OF THAT SPECIFIED IN §15.1.2.

TOTAL FOOTPRINT BUILDINGS - 8,190 SF

MULTI-FAMILY DWELLING - ASSUMING 14 OF 2 BEDROOM UNITS ON TOP FLOORS  
- 21 PARKING SPACES REQUIRED  
- @ 50% ( ZONING 15.3.A. ) 11 PARKING SPACES REQUIRED

RETAIL / OFFICES - 8190 / 200 = 41 SPACES  
- @ 50% ( ZONING 15.3.A. ) 21 PARKING SPACES REQUIRED

TOTAL PARKING SPACES REQUIRED - 32  
TOTAL PARKING SPACES PROVIDED - 33

**SITE PLAN  
MIXED-USE DEVELOPMENT  
LAND OF VIELE FAMILY TRUST  
7 WOODBRIDGE ROAD, YORK, YORK COUNTY, MAINE**

PREPARED FOR:  
JMP REALTY, LLC  
40 GODFREY COVE ROAD, YORK, ME 03909

CLIENT ADDRESS:  
7 WOODBRIDGE ROAD, YORK, ME 03909

DATE: 12/22/2025  
DRAWN BY: LITE  
CHECKED BY: GRA  
APPROVED BY:

**SITE  
PLAN**

PROJECT NO: 2512000

L1  
SHEET: 1 OF 8

TAX MAP NO. 50 LOT NO. 0111D

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PREPARED FOR:  
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APPROVAL  
NOT FOR  
CONSTRUCTION  
12/22/2025

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207-384-2550  
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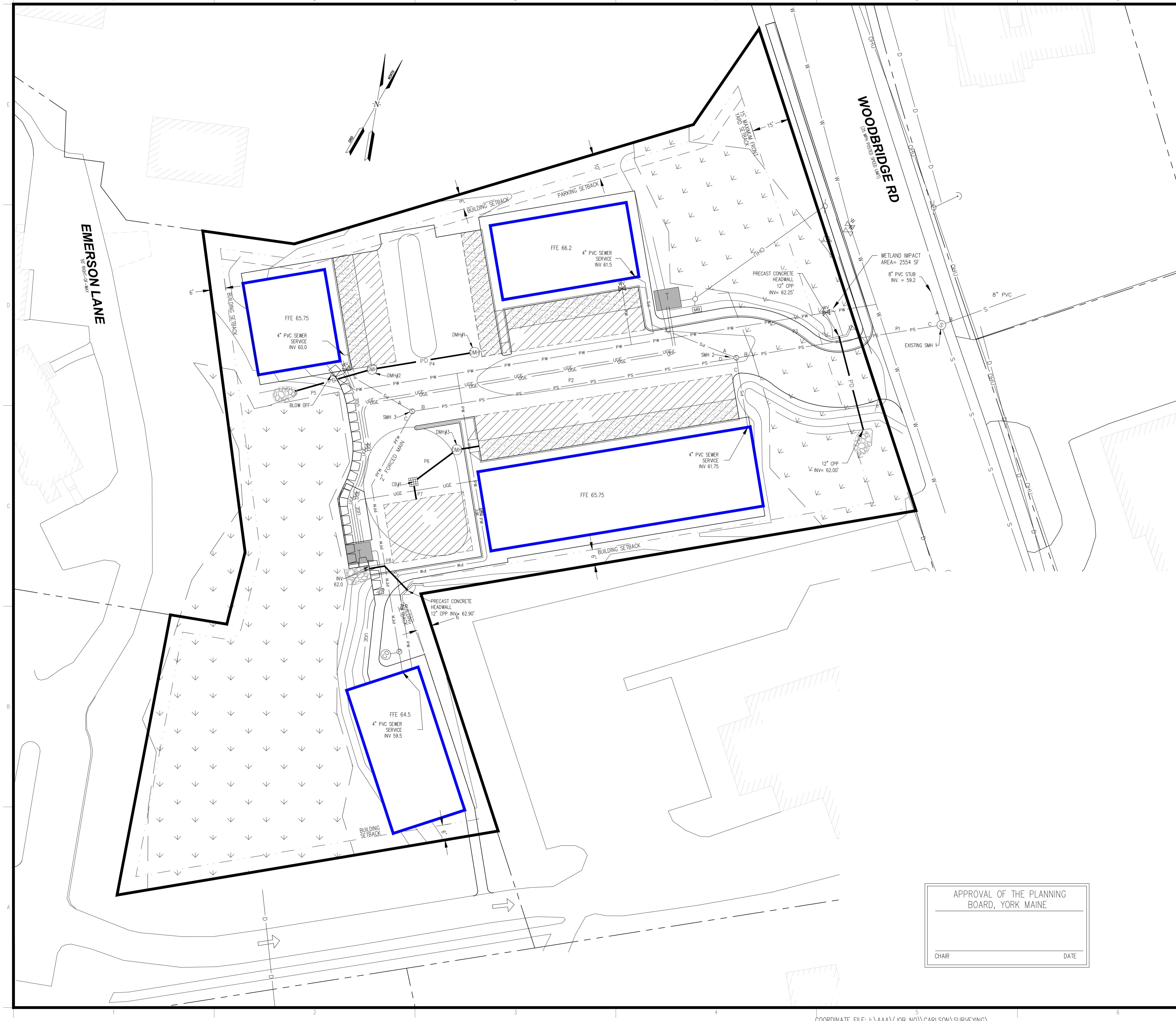
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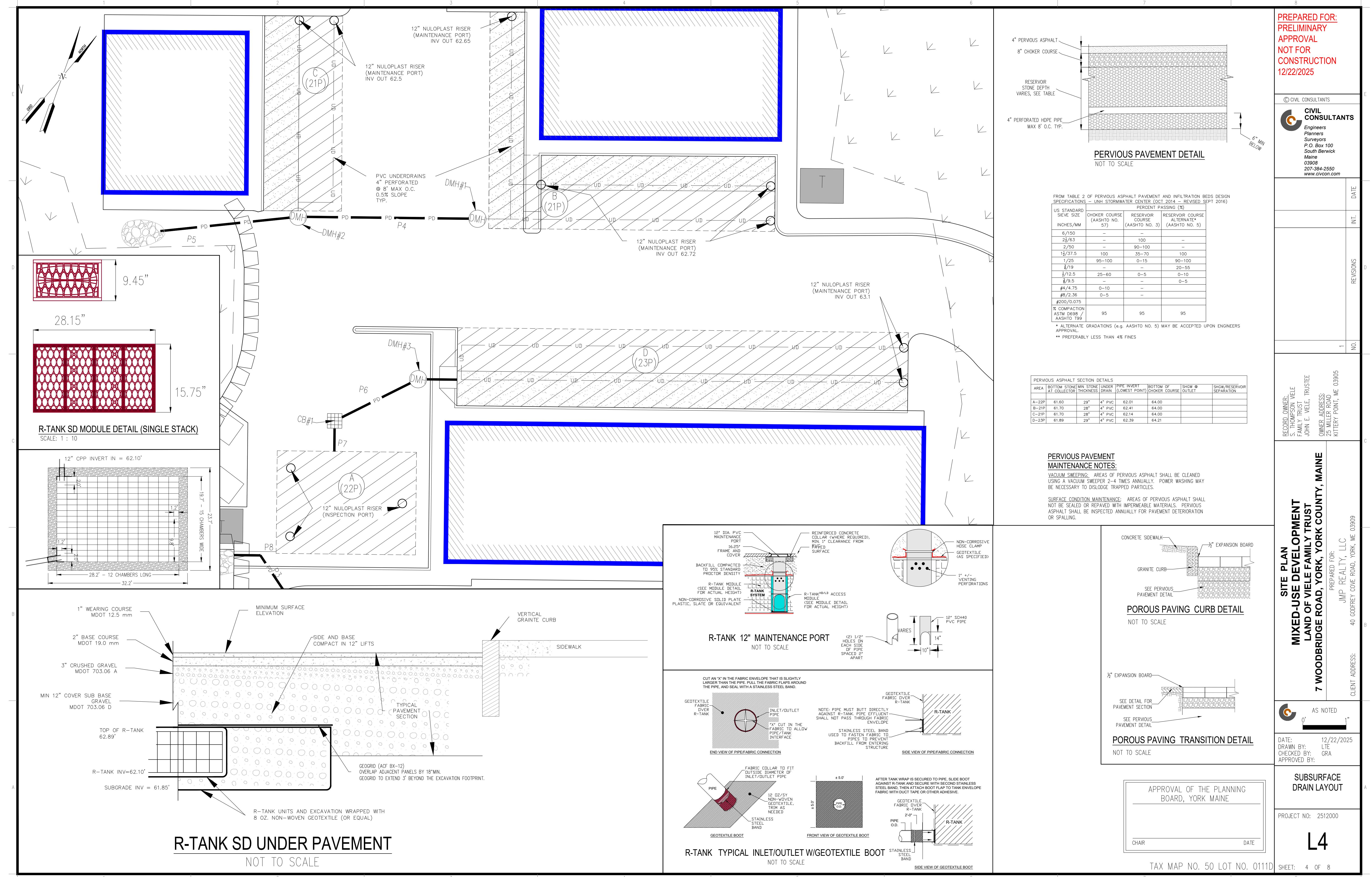
REVISIONS	NO.
	1

PIPE SCHEDULE	PIPE #	INV. IN	INV. OUT	PIPE SIZE & MATERIAL	PIPE LENGTH	PIPE SLOPE
	P1 - SWR	59.59	59.20	6" SDR-35	80'	.005'/
	P2 - SWR	60.32	59.69	6" SDR-35	129'	.005'/
	P3 - STM	62.25	62.0	12" CPP	42'	.006'/
	P4 - STM	62.40	62.17	12" CPP	46'	.005'/
	P5 - STM	62.17	62	12" CPP	31'	.006'/
	P6 - STM	62.54	62.33	8" CPP	20'	.011'/
	P7 - STM	62.23	62.10	8" CPP	7'	.019'/
	P8 - STM	62.10	62.00	8" CPP	7'	.019'/

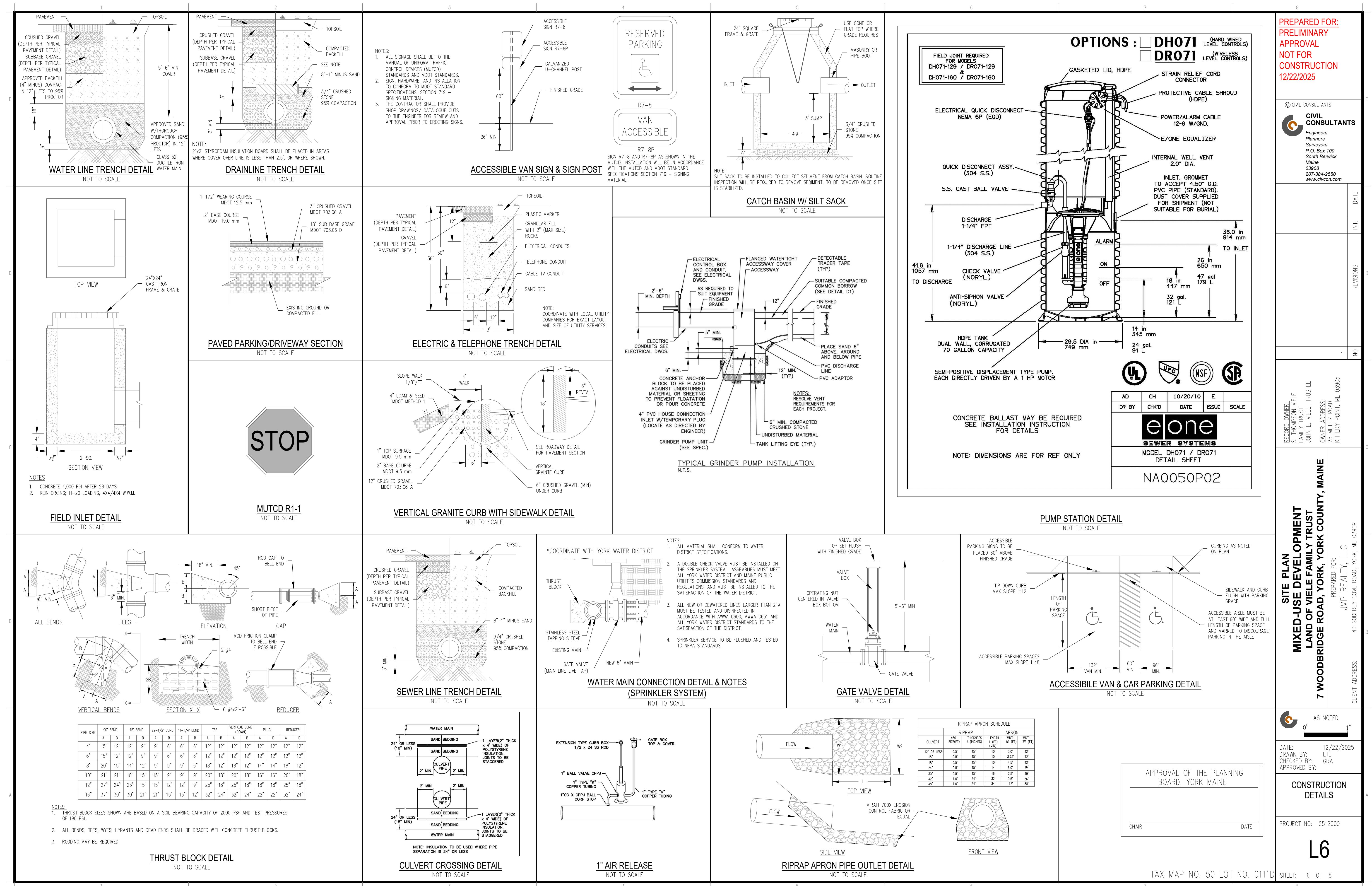
**L3**

SITE PLAN MIXED-USE DEVELOPMENT LAND OF VIELE FAMILY TRUST 7 WOODBRIDGE ROAD, YORK, YORK COUNTY, MAINE	PREPARED FOR: JMP REALTY, LLC OWNER ADDRESS: 40 GODFREY COVE ROAD, YORK, ME 03909
	CLIENT ADDRESS: 40 GODFREY COVE ROAD, YORK, ME 03909
	DATE: 12/22/2025 DRAWN BY: LTC CHECKED BY: GRA APPROVED BY:
	UTILITY PLAN
	PROJECT NO.: 2512000
	TAX MAP NO. 50 LOT NO. 0111D SHEET: 3 OF 8









REPAARED FOR:  
RELIMINARY  
APPROVAL  
OT FOR  
CONSTRUCTION  
2/22/2025

**CIVIL CONSULTANTS**

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Planners  
Surveyors*

*P.O. Box 100  
South Berwick  
Maine  
03908  
207-384-2550  
[www.civcon.com](http://www.civcon.com)*

REVISIONS	INT.	DATE

RECORD OWNER:  
S. THOMPSON VIELE  
FAMILY TRUST  
JOHN E. VIELE, TRUSTEE

OWNER ADDRESS:  
25 MILLER ROAD  
KITTERY POINT, ME 03905

---

**MAINE**

**SITE PLAN**  
**MIXED-USE DEVELOPMENT**  
**LAND OF VIELE FAMILY TRUST**  
**7 WOODBRIDGE ROAD, YORK, YORK COUNTY**

---

**CLIENT ADDRESS:** 40 GODFREY COVE ROAD, YORK, ME 03909  
**PREPARED FOR:** JMP REALTY, LLC

AS NOTED		
0'		1"
<b>DATE:</b> 12/22/2025 <b>DRAWN BY:</b> LTE <b>CHECKED BY:</b> GRA <b>APPROVED BY:</b>		
<b>CONSTRUCTION</b>		

PROJECT NO: 2512000

L6  
HEET: 6 OF 8

## YORK PLAN NOTES

1. APPLICATION ACCEPTANCE. THE PLAN WAS INITIALLY ACCEPTED FOR REVIEW BY THE PLANNING BOARD ON 5/23/24. THE REGULATIONS IN EFFECT AS OF THIS DATE SHALL APPLY.

2. ZONING. A PORTION OF THE PROPERTY IS LOCATED IN THE BUSINESS 2 (BUS-2) ZONE. THE REMAINING PORTION OF THE PROPERTY IS LOCATED IN THE 250 LIMITED RESIDENTIAL SHORELAND OVERLAY ZONE.

3. USE. THE EXISTING AND PROPOSED USE OF THE PROPERTY IS A COMMERCIAL USE MOTEL/HOTEL.

4. SUPPLEMENTAL PLANS. SEE THIS SHEET FOR THE LIST OF PROJECT DRAWINGS.

5. WAIVERS. NONE

6. AMENDMENTS. ANY AMENDMENT OF THIS PLAN SHALL REQUIRE PRIOR APPROVAL OF THE PLANNING BOARD. EXCEPT AS NOTED UNDER "FIELD CHANGES" AMENDMENTS REQUIRE FORMAL APPLICATION TO THE BOARD, PER §5.6 OF THE TOWN'S SITE AND SUBDIVISION REGULATIONS.

7. FIELD CHANGES. DURING CONSTRUCTION, THE APPLICANT MAY PROPOSE FIELD CHANGES NECESSARY TO CORRECT MINOR CONSTRUCTION-RELATED ERRORS ON THE DESIGN PLANS OR TO ACCOUNT FOR UNEXPECTED SITE CONDITIONS. FIELD CHANGES SHALL BE PREPARED IN WRITING AND CERTIFIED BY THE APPLICANT'S PROFESSIONAL ENGINEER (WHERE APPROPRIATE), AND SHALL BE PRESENTED TO THE PLANNING BOARD. FIELD CHANGES SHALL BE LIMITED TO CHANGES THAT DO NOT MATERIALLY ALTER THE VISUAL APPEARANCE OF THE PROJECT (SUCH AS BUT NOT LIMITED TO BUILDING DESIGN, LANDSCAPE DESIGN, OUTDOOR LIGHTING, ETC.) AND THAT DO NOT MATERIALLY ALTER THE APPROVED DESIGN OF THE PROJECT (SUCH AS BUT NOT LIMITED TO LAYOUT, TRAFFIC CIRCULATION, STORMWATER DRAINAGE, ETC.). THE BOARD SHALL CONSIDER THE FIELD CHANGE DURING "FIELD CHANGES" AT ITS NEXT MEETING, AND SHALL EITHER ACCEPT OR REJECT IT. CONSTRUCTION MUST COMPLY WITH THE DECISION OF THE BOARD. WORK BASED ON A FIELD CHANGE THAT IS DENIED SHALL BE REMOVED.

8. BLASTING. BLASTING SHALL BE PERFORMED BY A MAINE-LICENSED BLASTING CONTRACTOR IN ACCORDANCE WITH APPLICABLE STATE REQUIREMENTS. BLASTING ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH THE TOWN NOISE ORDINANCE. A MINIMUM OF THREE DAYS PRIOR TO BLASTING, THE POLICE DEPARTMENT, FIRE DEPARTMENT AND ALL ABUTTERS TO THIS PROJECT SHALL BE NOTIFIED.

9. TOPSOIL. NO TOPSOIL SHALL BE REMOVED FROM THIS SITE.

10. CONSTRUCTION DEBRIS. NO CONSTRUCTION OR DEMOLITION DEBRIS, STUMPS, OR OTHER WASTES GENERATED DURING SITE WORK OR BUILDING CONSTRUCTION SHALL BE DISPOSED OF ON-SITE.

11. FLOOD-PRONE LOTS. ON LOTS WHOLLY OR PARTIALLY WITHIN A SPECIAL FLOOD HAZARD AREA, ALL STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ARTICLE VI OF YORK'S FLOODPLAIN MANAGEMENT ORDINANCE. ALL SUCH REQUIREMENTS SHALL BE INCLUDED IN ANY DEED, LEASE, PURCHASE AND SALE AGREEMENT, OR DOCUMENT TRANSFERRING OR EXPRESSING AN INTENT TO TRANSFER ANY INTEREST IN REAL ESTATE OR STRUCTURE, INCLUDING BUT NOT LIMITED TO A TIME-SHARE INTEREST. THE CONDITIONS SHALL CLEARLY ARTICULATE THAT THE TOWN MAY ENFORCE ANY VIOLATION OF THE CONSTRUCTION REQUIREMENT AND THAT FACT SHALL ALSO BE INCLUDED IN THE DEED OR ANY OTHER DOCUMENT PREVIOUSLY DESCRIBED. THE CONSTRUCTION REQUIREMENT SHALL ALSO BE CLEARLY STATED ON ANY MAP, PLAT, OR PLAN TO BE SIGNED BY THE PLANNING BOARD AS PART OF THE APPROVAL PROCESS. (FOR SUBDIVISIONS ONLY, INSERT THE FOLLOWING AS THE SECOND SENTENCE: "FURTHER, ALL PRINCIPAL STRUCTURES IN THE DEVELOPMENT SHALL BE CONSTRUCTED WITH THEIR LOWEST FLOOR, INCLUDING THE BASEMENT, AT LEAST 2 FEET ABOVE THE 100-YEAR FLOOD ELEVATION.")

12. EXPIRATION OF APPROVAL. PER SITE PLAN & SUBDIVISION REGULATION §5.5.5, THIS APPROVAL SHALL EXPIRE AFTER THREE YEARS IF THE DEVELOPER HAS NOT COMMENCED SUBSTANTIAL CONSTRUCTION OF REQUIRED IMPROVEMENTS. GRADING AND EARTHMOVING ALONE SHALL NOT CONSTITUTE SUBSTANTIAL CONSTRUCTION. SUBSTANTIAL CONSTRUCTION SHALL NOT BE DEEMED TO HAVE TAKEN PLACE UNTIL THE APPLICANT HAS CONSTRUCTED IMPROVEMENTS THAT USE 25% OF THE MATERIALS NEEDED FOR REQUIRED PUBLIC IMPROVEMENTS. IN THE EVENT THE APPROVAL EXPIRES, THE PLANNING BOARD SHALL PLACE A NOTICE IN THE REGISTRY OF DEEDS TO THAT EFFECT.

13. PERFORMANCE GUARANTEE. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. THE DEVELOPER SHALL PROVIDE THE TOWN OF YORK A PERFORMANCE GUARANTEE.

14. PRE-CONSTRUCTION MEETING. NO CONSTRUCTION SHALL COMMENCE UNTIL A PRE-CONSTRUCTION MEETING IS HELD BETWEEN TOWN STAFF, THE TOWN'S INSPECTION ENGINEER, THE DEVELOPER, REPRESENTATIVES OF EACH DESIGN PROFESSIONAL WHO CERTIFIED ANY OF THE PLANS, AND THE CONTRACTOR. PRIOR TO SCHEDULING THIS MEETING, THE APPLICANT SHALL:

\* PROVIDE TO THE TOWN FOUR PLAN SETS, AS APPROVED AND RECORDED AT THE YORK COUNTY REGISTRY OF DEEDS;

\* PROVIDE EVIDENCE THAT ANY TREES TO BE PROTECTED ON THE SITE HAVE BEEN MARKED BY THE LANDSCAPE ARCHITECT; AND

\* HAVE PAID THE PERFORMANCE GUARANTEE AND OR AN INSPECTION FEE.

\* HAVE PAID ANY OUTSTANDING FEES INCURRED DURING THE REVIEW PROCESS

15. BUILDING PERMITS. BUILDING PERMITS SHALL BE ISSUED IN ACCORDANCE WITH THE FOLLOWING:

A. NO PERMIT SHALL BE ISSUED UNTIL A PROJECT PRE-CONSTRUCTION MEETING HAS OCCURRED.

B. BUILDING PERMITS SHALL BE ISSUED SUBJECT TO THE TOWN'S STANDARD EROSION AND SEDIMENTATION CONTROL REQUIREMENTS.

C. WHEN LOT LINES ARE TO BE CHANGED OR NEW LOTS CREATED NO PERMIT SHALL BE ISSUED UNTIL THE SURVEYOR PROVIDES A CERTIFICATE OF MONUMENT INSTALLATION VERIFYING THAT ALL SURVEY MONUMENTATION SHOWN ON THE PLAN HAS BEEN INSTALLED.

D. NO PERMIT SHALL BE ISSUED UNTIL THE APPLICANT PROVIDES DOCUMENTATION OF THE COMMITMENT FROM A FINANCIAL INSTITUTION TO PROVIDE FUNDS TO COMPLETE THE PROJECT.

16. ARCHEOLOGICAL FINDINGS. IF, DURING EXCAVATIONS, ANY ARCHEOLOGICAL FINDINGS ARE UNCOVERED, ALL WORK SHALL STOP AND THE STATE ARCHEOLOGIST BE CONSULTED, AND MAY COMMENCE AGAIN ONLY AFTER CONSERVATION OF THE RESOURCES IS ADDRESSED TO THE SATISFACTION OF THE STATE ARCHEOLOGIST.

17. OCCUPANCY PERMITS. THE APPLICANT SHALL BE REQUIRED TO PROVIDE TO THE CEO AND PLANNING BOARD A CERTIFICATION OF COMPLETION FROM EACH STATE-LICENSED DESIGN PROFESSIONAL (PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT) WHO CERTIFIED ANY DESIGN-COMPONENT OF THIS PLAN SET (IDENTIFY EACH HERE IN THE FINAL VERSION OF THE PLAN NOTE). (ANOTHER EQUALLY-QUALIFIED LICENSED PROFESSIONAL MAY PROVIDE THE CERTIFICATION IF SO AUTHORIZED BY THE PLANNING BOARD.) THE CERTIFICATION SHALL BE A REPORT THAT STATES WHETHER OR NOT THE PROJECT HAS BEEN BUILT IN FULL COMPLIANCE WITH THE APPROVED PLANS, AND IDENTIFIES ANY AREAS WHERE THE ACTUAL CONSTRUCTION DEVIATES FROM THE APPROVED PLANS. EACH DESIGN PROFESSIONAL SHALL ATTEST ONLY TO THOSE ASPECTS OF THE PLAN FOR WHICH THEY ARE RESPONSIBLE FOR THE DESIGN (FOR EXAMPLE, THE PROFESSIONAL ENGINEER ATTESTS ONLY TO ENGINEERING-RELATED ISSUES, THE ARCHITECT ATTESTS ONLY TO ARCHITECTURAL ISSUES, AND SO FORTH). THIS CERTIFICATION SHALL BE CERTIFIED BY STAMP AND SIGNATURE OF THE PROFESSIONAL. AS THE TOWN IS RELYING ON THE STATE LICENSED PROFESSIONALS TO SELF-POLICE THEIR PROJECTS, ANY MIS-REPRESENTATION IN A CERTIFICATION SHALL BE REPORTED BY THE PLANNING BOARD TO THE RELEVANT STATE LICENSING BOARD.

18. FINAL OCCUPANCY PERMIT. IN ORDER FOR A FINAL OCCUPANCY PERMIT TO BE ISSUED, THE CERTIFICATION OF COMPLETION MUST INDICATE EACH DESIGN PROFESSIONAL'S EVALUATION THAT THE PROJECT HAS BEEN COMPLETED IN FULL COMPLIANCE WITH THE APPROVED PLANS, AND THE CEO AND/OR TOWN'S INSPECTION ENGINEER MUST CONCUR.

21. NON-COMPLIANT PROJECTS. IN THE EVENT THERE ARE DIFFERENCES IN THE COMPLETED PROJECT AND THE APPROVED PLANS, THE CERTIFICATION OF COMPLETION SHALL INDICATE EACH POINT OF DIFFERENCE. IN THIS EVENT, THE PLANNING BOARD SHALL EVALUATE THE SIGNIFICANCE OF THE DIFFERENCE, AND IF THE CHANGES ARE ACCEPTABLE TO THE BOARD, MAY PROVIDE WRITTEN AUTHORIZATION TO THE CEO TO ISSUE A FINAL OCCUPANCY PERMIT. IF THE CHANGES ARE NOT ACCEPTABLE TO THE BOARD, THE BOARD SHALL DECIDE HOW TO RESOLVE THE MATTER.

22. TEMPORARY OCCUPANCY PERMIT. IN THE EVENT THE APPLICANT SEEKS TO OBTAIN A TEMPORARY OCCUPANCY PERMIT PRIOR TO COMPLETION OF ALL WORK, EACH DESIGN PROFESSIONAL MAY SUBMIT AN INTERIM CERTIFICATION OF COMPLETION WHICH EVALUATES COMPLIANCE OF WORK COMPLETED TO DATE, IDENTIFIES WORK REMAINING, AND ADDRESSES MEANS OF ENSURING TIMELY COMPLETION. THE CEO MAY ISSUE A TEMPORARY OCCUPANCY PERMIT ONLY WHEN ALL WORK TO DATE HAS BEEN CERTIFIED AS FULLY COMPLIANT, AND REMAINING INCOMPLETE WORK WILL NOT ADVERSELY AFFECT PUBLIC HEALTH OR SAFETY. THE TEMPORARY OCCUPANCY PERMIT SHALL BE ISSUED FOR A PERIOD NOT EXCEEDING 6 MONTHS. THE CEO SHALL NOT GRANT ANY EXTENSIONS OR ISSUE SUCH PERMITS FOR LONGER DURATION WITHOUT EXPRESS AUTHORIZATION OF THE PLANNING BOARD.

23. SIGNED PLANS. A COPY OF THE SIGNED PLANS WILL BE KEPT ON-SITE UNTIL AN OCCUPANCY PERMIT IS ISSUED/ROAD WORK IS COMPLETED.

24. MAINTENANCE OF STORMWATER FACILITIES: IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER, OR DRAINAGE EASEMENT HOLDER IF APPLICABLE, TO INSPECT AND MAINTAIN ALL STORMWATER MANAGEMENT FACILITIES ON THE PROPERTY.

25. COMPLIANCE REQUIREMENTS FOR STORMWATER MANAGEMENT. ANY PERSON OR PROJECT SUBJECT TO THE POST CONSTRUCTION STORMWATER MANAGEMENT ORDINANCE SHALL COMPLY WITH ALL APPLICABLE SECTIONS WITHIN SAID ORDINANCE.

26. PRECONSTRUCTION AND POST CONSTRUCTION PHOTOGRAPH REQUIREMENTS IN THE SHORELAND ZONE. PER STATE LAW PRIOR TO CONSTRUCTION ACTIVITY WITHIN A DEFINED SHORELAND ZONE APPLICANTS SHALL PROVIDE PHOTOGRAPHS OF THE SHORELINE VEGETATION AND DEVELOPMENT SITE WITHIN THE SHORELAND ZONE. THE APPLICANT SHALL ALSO PROVIDE POST CONSTRUCTION PHOTOGRAPHS OF THE SHORELINE VEGETATION AND DEVELOPMENT SITE WITHIN THE SHORELAND ZONE. ALL PHOTOS SHALL BE PROVIDED TO THE CODE ENFORCEMENT OFFICER PRIOR TO THE ISSUANCE OF A BUILDING PERMIT AND PRIOR TO THE ISSUANCE OF AN OCCUPANCY PERMIT.

NOTES UNIQUE TO SITE PLANS

27. REPLACEMENT OF PLANTINGS. REQUIRED PLANTINGS THAT DIE SHALL BE REPLACED WITHIN ONE GROWING SEASON.

28. HOURS OF OPERATION. HOURS OF OPERATION MUST BE IN COMPLIANCE WITH THE TOWN NOISE ORDINANCE.

29. EXTERIOR LIGHTING. ALL EXTERIOR LIGHTING SHALL BE DIRECTED AND SHIELDED TO PREVENT GLARE ON NEARBY LOTS AND STREETS.

30. AS-BUILT PLAN. AN AS-BUILT PLAN SHOWING THE FOOTPRINT OF THE BUILDINGS, PAVED SURFACES AND THE LOCATIONS OF ALL UTILITIES ON THE PROPERTY SHALL BE PROVIDED TO THE CEO PRIOR TO THE ISSUANCE OF THE OCCUPANCY PERMIT. THE AS-BUILT PLAN SHALL BE SUBMITTED IN PAPER FORM, AND IN A DIGITAL FORMAT THAT CAN BE CONVERTED TO THE TOWN'S GIS SOFTWARE.

## YORK FIRE DEPARTMENT NOTES

FIRE DEPARTMENT PROJECT SAFETY REQUIREMENTS

1. ALL FIRE DEPT NOTES CONTAINED ON THIS MEMO MUST APPEAR ON ANY/ALL MYLAR SET DRAWINGS RELATING TO THIS PROJECT BEFORE APPROVAL SIGNATURE(S) WILL BE GRANTED. BE SURE TO INCLUDE THESE REQUIREMENTS/NOTES WHEN FIRE ALARM SYSTEM AND SPRINKLER CONTRACTORS ARE SELECTED SO THESE REQUIREMENTS ARE TRANSMITTED TO THE ACTUAL CONTRACTORS SELECTED TO PROVIDE THE FIRE PROTECTIVE SYSTEMS ON SITE.
2. PROPOSED NEW BUILDING OR RENOVATIONS TO EXISTING BUILDINGS MUST HAVE ADDRESSABLE SMOKE DETECTION EQUIPMENT HARD WIRED TO A CENTRAL ALARM PANEL CONTAINED WITHIN BUILDING. NOUN NAMED ZONES MUST BE CLEARLY ANNOTATED ON ALARM PANEL DISPLAYS. HEAT DETECTORS WITH APPROPRIATE RATE OF RISE TEMPERATURE SPECIFICATIONS MUST BE INSTALLED IN CONCEALED ATTIC SPACES. CAT 30 KEY CODE IS REQUIRED FOR ALL PULL STATIONS AND FIRE ALARM PANEL(S). CARBON MONOXIDE DETECTORS MUST BE PROVIDED IN EACH LIVING UNIT.
3. NFPA 13 -SPRINKLER SYSTEMS MUST BE PROVIDED IN ALL BUILDINGS WITH ZONES FOR FLOW AND TAMPER ON ALARM PANEL NOTED ABOVE. SPRINKLER DESIGN MUST BE SUBMITTED TO AND APPROVED BY THE MAINE STATE FIRE MARSHAL'S OFFICE. NOTE THAT IT IS PREFERRED THAT A FIRE HYDRANT BE PROVIDED & LOCATED WITHIN 50 FEET OF THE SPRINKLER CONNECTION. ADDITIONAL HYDRANTS MAY BE REQUIRED DEPENDING ON BUILDING SIZE. ALL HYDRANTS SHALL HAVE A MINIMUM 1000 GPM REQUIRED FLOW RATE.
4. FINAL LOCATION OF KNOX BOXES TO BE APPROVED BY THE YORK FIRE DEPARTMENT.
5. REASONABLE FIRE APPARATUS ACCESS MUST BE PROVIDED AROUND ENTIRE BUILDING.
6. PROVIDE CONSTRUCTION DETAILS ON BUILDING DESIGN WHEN AVAILABLE
7. ANY BUILDING CONTAINING LIVING SPACES, OFFICES OR OCCUPIED UNITS OF ANY TYPE ON TWO FLOORS OR MORE SHALL HAVE FIRE DEPARTMENT STANDPIPES FOR EACH FLOOR PROVIDED FOR FIREFIGHTING PURPOSES PER NFPA 14 REQUIREMENTS. ALL FLOORS MUST BE PROVIDED WITH STANDPIPES IN THE STAIRWELLS WITH 2 1/2 FIRE HOSE CONNECTIONS WITH 1 1/2 NPSH ADAPTERS FOR FIREFIGHTING.
8. THE MAINE STATE FIRE MARSHAL'S OFFICE MUST REVIEW/APPROVE THE BUILDING PLANS AND BUILDING CONSTRUCTION DETAILS.
9. ELEVATOR(S), IF PROVIDED, SHALL BE SIZED TO ACCOMMODATE THE CONVENIENT LOADING AND TRANSPORT OF AN AMBULANCE GURNEY.
10. ADDRESS NUMBERING MUST BE PROVIDED ON STREET FACING ELEVATION(S) OF BUILDING(S) WITH A MINIMUM OF 4 INCH LETTERS TO ALLOW RESPONDERS A CLEAR INDICATION OF STREET NUMBERING FOR ALL NEWLY CONSTRUCTED BUILDING(S).
11. THE FIRE CHIEF AND/OR FIRE INSPECTOR OF THE YFD RESERVES THE RIGHT TO AMEND OR ADD FIRE SAFETY REQUIREMENTS IF APPROPRIATE.
12. COMMON ATTIC SPACES MAY REQUIRE ONE HOUR RATED FIRE SEPARATIONS DEPENDING ON BUILDING DESIGN AND CUBIC FOOTAGE CALCULATIONS.
13. A CERTIFICATE OF OCCUPANCY WILL BE GRANTED ONLY WHEN THE ABOVE NOTED FIRE SAFETY REQUIREMENTS ARE PROVIDED AND TESTED SATISFACTORILY ON SITE

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APPROVAL OF THE PLANNING  
BOARD, YORK MAINE

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DATE

<h1>UTILITY DISTRICT APPROVALS</h1> <hr/> <p>YORK SEWER DISTRICT</p> <hr/> <p>YORK WATER DISTRICT</p> <hr/> <p>THIS APPLICATION HAS BEEN REVIEWED AND APPROVED BY THE UTILITY DISTRICTS, AS INDICATED BY THE SIGNATURE OF THEIR SUPERINTENDENTS</p>
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FIRE DEPARTMENT OFFICIAL

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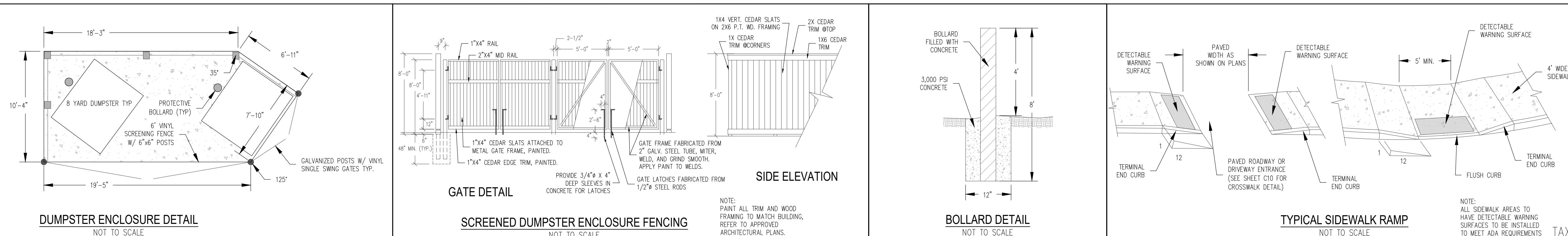
POLICE DEPARTMENT OFFICIAL

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PUBLIC WORKS OFFICIAL

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THIS APPLICATION HAS BEEN REVIEWED BY THESE  
DEPARTMENTS, WHICH HAVE OFFERED COMMENTS TO THE  
PLANNING BOARD



## Maintenance Procedures

The following procedures will be followed for initial and long term maintenance of the stormwater management facilities at this site. Note: for the purposes of these procedures, a significant storm is any storm that results in 1/2" of runoff in a 24 hour period. A major storm is any storm that results in 2" of runoff in a 24 hour period. Inspection of all erosion control measures will be performed on a weekly basis and after significant storms.

### Maintenance Log

The responsible party shall establish a maintenance log/plan for use in recording maintenance activities. As a minimum, the log shall include the date(s) of activities, who performed the duties, what was done (i.e. looked at detention berms, cleaned drop inlets, etc.), the results of the activity (i.e. all structures were in good shape, or, pond #10 needs to be repaired), if any item needs to be repaired, a follow-up entry shall show the date that repairs were completed.

### Land Grading and Slope Stabilization (Initial)

All slopes should be checked periodically to see that vegetation is in good condition. Any rills or damage from erosion and animal burrowing should be repaired immediately to avoid further damage. If seeps develop on the slopes, the area should be evaluated to determine if the seep will cause an unstable condition. Subsurface drains or gravel mulching may be required to solve seep problems. Diversions, diversions, and waterways should be checked periodically for functioning properly. Problems found during site inspections should be repaired. Areas requiring re-vegetation should be repaired. Slopes and associated practices utilizing vegetation should be lined and fertilized as necessary to keep the vegetation healthy. Encroachment of undesirable vegetation such as weeds and woody growth that is not planned should be controlled to avoid problems of bank stability in the future.

### Outlet Protection

Outlet protection should be checked at least annually and after every major storm. If the riprap has been displaced, undermined, or damaged, it should be repaired immediately before further damage can take place. Involving vegetation should be checked from the outlet riprap area. Tree roots will eventually dislodge the rock riprap. If the riprap is on a channel bank, the stream should be kept clear of obstructions such as fallen trees, debris, and sediment bars that may change flow patterns and/or tailwater depths on the pipes. Repairs must be carried out to avoid additional damage to the outlet protection apron.

### Rock Riprap (Initial & Long Term)

Rock riprap should be checked at least annually and after every major storm. If the riprap has been displaced, undermined, or damaged, it should be repaired immediately before further damage can take place. Involving vegetation should be checked from the outlet riprap area. Tree roots will eventually dislodge the rock riprap. If the riprap is on a channel bank, the stream should be kept clear of obstructions such as fallen trees, debris, and sediment bars that may change flow patterns which could damage or dislodge the riprap. Repairs must be carried out immediately to avoid additional damage to the riprap.

### Storm Drain Inlet Protection

All structures shall be inspected after major rain events and repaired as needed.

Sediment shall be removed and the stormdrain sediment barrier restored to its original dimensions when the sediment has accumulated to 1/2 the depth of the trap. Removed sediment shall be deposited in a suitable area and in such a manner that it will not erode.

Structures shall be removed and the area stabilized when the remaining drainage area has been properly stabilized.

All catchbasins and stormdrain inlets shall be cleaned at the end of construction and after the site has been fully stabilized.

### Straw or Hay Bale Barrier, Silt Fence and Filter Berm

Hay bale barriers, silt fences and filter berms shall be inspected after each rainfall and at least daily during prolonged rainfall. They shall be repaired if there any signs of erosion or sedimentation below them. If there are signs of undercutting at the center of the edges of the barrier, or impounding of large volumes of water behind them, sediment barriers shall be replaced with a temporary check dam.

Should the fabric on a silt fence or filter barrier decompose or become ineffective prior to the end of the expected usable life and the barrier is still necessary, the fabric shall be replaced.

Sediment deposits should be removed after each storm event. The deposits should be removed when the deposits reach approximately one-half of the height of the barrier.

Filter berms should be reshaped as needed.

Sediment deposits remaining in place after the silt fence or filter barrier is no longer required should be dressed to conform to the existing grade, prepared and seeded.

### Temporary Check Dams

Regular inspections must be made to ensure that the center of the check dam is lower than the edges. Erosion caused by high flows around the edges of the check dam must be corrected, if evidence of siltation in the water is apparent downstream of the check dam, the check dam must be inspected and adjusted.

Check dams must be checked for sediment accumulation after each significant rainfall. Sediment must be removed when it reaches one half the original height of before.

If possible, leave the check dam in place permanently. Another option is to spread stone or hay along the ditch invert to provide additional protection in temporary ditches and swales. Check dams must be removed when a permanent lining has been established. If a check dam must be removed from a grass lined ditch, wait until the grass has matured to protect the ditch or swale. The area beneath the check dam must be seeded and mulched after they are removed.

### Stabilized Construction Entrance (Anti-Tracking Pad)

The exit shall be maintained in a condition that will prevent tracking of sediment onto public rights-of-way. When the control pad becomes ineffective, the stone shall be removed along with the collected soil material and redistributed on site in a stable manner. The entrance should then be reconstructed. The contractor shall sweep or wash pavement at exits, which have experienced mud-tracking on the pavement or traveled way. When washing is required, it shall be done on an area stabilized with aggregate, which drains into an approved sediment trapping device. All sediment shall be prevented from entering storm drains, ditches or waterways.

### Culverts

Underground culverts must be maintained by keeping inlets, trash guards, and collection boxes and structures clean and free of materials that can reduce the flow. All leaks shall be repaired to ensure proper functioning of the culvert. Animal guards must be inspected and maintained in proper working order.

Timely maintenance is important to keep the vegetation in the swale in good condition. Mowing should be done frequently enough to keep the vegetation in vigorous condition and to control encroachment of weeds and woody vegetation, however it should not be mowed too closely so as to reduce the filtering effect. Fertilize on an "as needed" basis to keep the grass healthy. Over fertilization can result in the swale becoming a source of pollution.

The swale should be inspected periodically and after every major storm to determine the condition of the swale, rills and damaged areas should be promptly repaired and re-vegetated as necessary to prevent further deterioration.

### Project Maintenance Items:

The devices that will require maintenance for this project are: outlet protection, rock riprap, stabilized construction entrance, oil/water separator, and pervious pavers.

### Overwinter Construction

The winter construction period is from November 1 through April 15. If the construction site is not stabilized with pavement, a road or gravel base, 75% mature vegetation cover or riprap by November 15, then the site needs to be protected with over winter stabilization. An area considered open is any area not stabilized with pavement, vegetation, mulching, erosion control mats, riprap or gravel base on a road.

Winter excavation and earthwork shall be completed such that no more than 1 acre of the site is without stabilization at any one time. Limit the exposed area to those areas in which work is expected to be taken during the preceding 15 days and that can be mulched in one day prior to any snow event. All area shall be considered to be denuded until the subbase gravel is installed in roadway areas or the areas of future load and have been leveled, seeded and mulched. A cover of erosion control mix performs the best.

Any added measures, which may be necessary to control erosion/sedimentation, must be installed. These may be dependent upon site conditions, the actual site size and weather conditions.

To minimize areas without erosion control protection, continuation of earthwork operations on additional areas shall not begin until the exposed soil surface on the area being worked has been stabilized.

### 1. Natural Resources Protection

Any areas within 100 feet from any natural resources, if not stabilized with a minimum of 75% mature vegetation catch, shall be mulched by December 1 and anchored with plastic netting or protected with an erosion control cover.

During winter construction, a double row of sediment barriers (i.e. silt fence backed with hay bales, erosion control mix) will be placed between any natural resource and the disturbed area. Projects crossing the natural resource shall be protected by a minimum distance of 100 feet on either side from the resource. Existing projects not stabilized by December 1 shall be protected with the second line of sediment barrier to ensure functionality during the spring thaw and rains.

### 2. Sediment Barriers

During frozen conditions, sediment barriers may consist of erosion control mix berms or any other recognized sediment barriers as frozen soil prevents the proper installation of hay bales and sediment silt fences.

### 3. Stabilization of Disturbed Soils

Stabilize the soil with temporary vegetation: by September 15, seed the disturbed soil with winter rye at a seeding rate of 3-lbs per 1,000 square feet and lightly mulch the seeded soil with hay or straw at 75-lbs per 1,000 square feet and anchor the mulch with plastic netting. Monitor growth of the rye over the next 30 days. If the rye fails to grow at least three inches or cover at least 75% of the disturbed soil before October 15, then mulch the area for overwinter protection as described below.

Stabilize the soil with straw: stabilize the disturbed soil with properly installed sod by October 15. Proper installation includes pinning the sod onto the soil with wire pins, rolling the sod to guarantee contact between the soil and underlying soil, and watering the soil to promote root growth into the disturbed soil.

### 4. Mulching

All areas shall be considered to be denuded until seeded and mulched. Hay and straw mulch shall be applied at a rate of 150 lbs per 1,000 square feet or 3 tons/acre (twice the normal accepted rate of 75 lbs/1,000 s.f. or 1.5 tons/acre) and shall be properly anchored. Erosion control mix must be applied with a minimum of 4 inch thickness.

### 5. Anchoring

All areas shall be considered to have been stabilized when exposed surfaces have been either mulched or adequately anchored so that ground surface is not visible through the mulch.

### 6. Areas Within 75' of Any Stream or Wetland

Between the dates of November 1 and April 15, all mulch shall be anchored by either mulch netting, asphalt emulsion, chemical track or wood cellulose fiber. The cover will be considered sufficient when the ground surface is not visible through the mulch.

### 7. After November 1st

Mulch and anchoring of all exposed soil shall occur at the end of each final grading workday.

### 8. Stabilization Schedule Before Winter

September 15: all stockpiles of soil or subsoil will be mulched for over winter protection with hay or straw at twice the normal rate or with a four-inch layer of erosion control mix. This will be done within 24 hours of stocking and reestablished prior to any rainfall or snowfall. Any soil stockpile will not be placed (even covered with mulch) within 100 feet from any natural resources.

### 9. Seeding

Between the dates of October 15 and April 1st, loam or seed will not be required. During periods of above freezing temperatures, disturbed areas shall be fine graded and either a protective mulch or a nearly seeded and mulched surface shall be the final protection to be applied. If the date is November 1st and if the exposed area has been loamed, final graded with a uniform surface, then the area may be dormant seeded at a rate of 3 times higher than specified for permanent seed and then mulched.

Dormant seeding may be selected to be placed prior to the placement of mulch and erosion control blankets. If dormant seeding is used for the site, all disturbed areas shall receive 4' of loam and seed at an application rate of 5-lbs/1,000 s.f. All areas seeded during the winter will be inspected in the spring for adequate catch. All areas insufficiently vegetated (less than 75% catch) shall be revegetated by replacing loam, seed and mulch.

### 10. Seeding

If dormant seeding is not used for the site, all disturbed areas shall be revegetated in the spring.

### 11. Mulching

mulch shall be applied to all disturbed areas to be protected with annual grass must be seeded at a rate of 0.34 lbs/1,000 s.f.

### 12. Sodding

all disturbed areas to be protected with annual grass must be seeded at a rate of 0.34 lbs/1,000 s.f.

### 13. Anchoring

all disturbed areas to be protected with annual grass must be seeded at a rate of 0.34 lbs/1,000 s.f.

### 14. Erosion Control Blankets

all disturbed areas to be protected with annual grass must be seeded at a rate of 0.34 lbs/1,000 s.f.

### 15. Mulching

all disturbed areas to be protected with annual grass must be seeded at a rate of 0.34 lbs/1,000 s.f.

### 16. Anchoring

all disturbed areas to be protected with annual grass must be seeded at a rate of 0.34 lbs/1,000 s.f.

### 17. Erosion Control Mats

all disturbed areas to be protected with annual grass must be seeded at a rate of 0.34 lbs/1,000 s.f.

## Construction Sequence:

The general sequence of events for the development of the site will be as follows:

- Prior to commencing any operation on the site: A. A pre-construction meeting shall be required.
- Install perimeter erosion control devices (silt fences and/or hay bale barrier) as indicated.
- Clear and grub site as required.
- Construct detention ponds and stormwater control structures prior to rough grading of the site. Note that adequate sedimentation control shall be employed to protect the detention ponds until stabilization.
- All ditches and swales shall be stabilized prior to directing runoff to them.
- Utility and parking lot construction shall proceed in conjunction with site development. All roadways and parking lots shall be stabilized within 72 hours of achieving finished grade.
- All cut and fill slopes shall be seeded/loaded within 72 hours of achieving finished grade. After grass has been established on disturbed areas, clean, repair and reseed as required.
- Install surface paving after all receiving ditches, swales and ponds are sufficiently stabilized.
- All construction and materials shall be in accordance with applicable town standards. Inspection shall be required during construction.

- Work line and fertilizer into the soil as nearly as practical to a depth of 4 inches with a disc, spring tooth harrow or other suitable equipment. The final harrowing operation should be on the general contour. Continue tillage until a reasonably uniform, fine seedbed is prepared, all but clay or silty soils and coarse sands should be rolled to firm the seedbed wherever feasible.
- Remove from the surface all stones 2 inches or larger in any dimension. Remove all other debris, such as wire, cable, tree roots, concrete, clogs, lamps, trash or other unsuitable material.
- Inspect seedbed just before seeding. If traffic has left the soil compacted, the area must be tilled prior to sowing as described above.
- Where the soil has been compacted by construction operations, loosen soil to a depth of 2 inches before applying fertilizer, lime and seed.
- If applicable, fertilizer and organic soil amendments should be applied during the growing season.

Apply limestone and fertilizer according to soil test recommendations. If soil testing is not feasible on small or variable sites, or where timing is critical, fertilizer may be applied at the rate of 600 pounds per acre or 13.8 pounds per 1,000 square feet of low phosphate fertilizer (N-P2O5-K2O) or equivalent. Apply limestone (equivalent to 50 percent calcium plus magnesium oxide) at a rate of 3 tons per acre (138 lb per 1,000 square feet).

Fertilizer should be restricted to a low phosphate, slow release nitrogen fertilizer when applied to areas between 25 feet and 250 feet from a surface water body. No fertilizer except limestone should be applied within 25 feet of the surface water. These limitations are requirements for any water body protected by the comprehensive shoreland protection act.

### Seedling:

- Select a seed mixture in Table 4-2 that is appropriate for the soil type and moisture content as found at the site, for the amount of sun exposure and for level of use. Select seed from recommendations in Table 4-3.
- Inoculate all legume seed with the correct type and amount of inoculant.

- Apply seed uniformly by hand, cyclone seeder, drill, cultipacker type seeder or hydroseeder (slurry including seed and fertilizer). Normal seed depth is from 1/4 to 1/2 inch. Hydroseeding that includes mulch may be left on soil surface. Seeding operations should be on the contour.

- Where feasible, except where either a cultipacker type seeder or hydroseeder is used, the seedbed should be firm following seeding operations with a roller or light drag.

- Spring seeding usually gives the best results for all seed mixes or with legumes. Permanent seeding should be completed 45 days prior to the first killing frost. When crown vetch is seeded in later summer, at least 35% of the seed should be hard (uncarried). If seeding cannot be done within specified seeding dates, modify the timing to correspond to the "Temporary and Permanent Mulching Practice, and delay seeding until the next recommended seeding period.

- Temporary seeding should typically occur prior to September 15th.

- Areas seeded between May 15th and August 15th should be covered with hay or straw mulch, according to the "Temporary and Permanent Mulching" practice.

- Vegetated growth covering at least 85% of the disturbed area should be achieved prior to October 15th. If this condition is not achieved, implement temporary stabilization measures for overwinter protection, and complete permanent seed stabilization during the next growing season.

### Hydroseeding:

- When hydroseeding (hydraulic application), prepare the seedbed as specified above or by hand raking to loosen and smooth the soil and to remove surface stones larger than 2 inches in diameter.

- Slopes must be no steeper than 2 to 1 (horizontal to 1 foot vertically).

- Lime and fertilizer may be applied simultaneously with the seed. The use of fiber mulch on critical areas is not recommended (unless it is used to hold straw or hay). Better protection is gained by using straw mulch and holding it with adhesive materials or 500 pounds per acre of wood fiber mulch.

- Seeding rates must be increased 10% when hydroseeding.

### Table 4-2 Seed Mixture Selection Based on Soil Type

USE	SOIL DRAINAGE			
SEED MIX (Table 4-3)	DROUGHT	WELL DRAINED	MODERATELY WELL DRAINED	Poorly Drained



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